



**DESIGN REVIEW BOARD AGENDA
NOTICE OF MEETING**

*Thursday, October 10, 2019 at 12:00 p.m.
Sherwood Room, City Hall (199 Queen Street)*

- 1. Call to Order**
- 2. Declaration of Conflicts**
- 3. Approval of Agenda** – Approval of Agenda for Thursday, October 10, 2019
- 4. Adoption of Minutes** - Minutes of Design Review Meeting on Monday, September 23, 2019
- 5. Business arising from Minutes**
- 6. Report:**
 - a. 60-66 Dorchester Street (PID #s 336826 & 336818)
Request to review renderings of the proposed modifications from September 23, 2019 meeting.
 - b. 7-9 Pownal Street (PID #1105451)
Request to review renderings of the proposed modifications from March 1, 2018 meeting.
- 7. Introduction of New Business**
- 8. Adjournment**

**PLANNING AND HERITAGE COMMITTEE – DESIGN REVIEW BOARD MINUTES
MONDAY, SEPTEMBER 23, 2019 12:00PM
PARDKALE ROOM, CITY HALL**

<u>Included</u>	Councillor Greg Rivard, Chair	Kris Fournier, RM
	Deputy Mayor Jason Coady, Vice-Chair	Sharon Larter, RM
	Councillor Bob Doiron	Alex Forbes, PHM
	Councillor Julie McCabe	Todd Saunders, HO
	Brian Gillis, RM	Laurel Palmer Thompson, PII
	Kenneth McInnis, RM	Ellen Ganga, IA/AA
<u>Regrets</u>	Mayor Philip Brown	
	Greg Munn, RM	

1. Call to Order

Councillor Greg Rivard called the meeting to order at 12:00 pm.

2. Declaration of Conflicts

Councillor Greg Rivard asked if there are any other conflicts and there being none, moved to the approval of the agenda.

3. Approval of Agenda

Moved by Councillor Julie McCabe and seconded by Sharon Larter, RM, that the agenda for Monday, September 23, 2019, be approved.

CARRIED

4. Adoption of Minutes

Moved by Sharon Larter, RM, and seconded by Kenneth McInnis, that the minutes of the Friday, May 17, 2019 meeting, be approved.

CARRIED

5. Business arising from Minutes

There was no business arising from the minutes.

6. 60-66 Dorchester Street (PID #s 336826 & 336818)

The Planning & Heritage Department is advancing this to the Design Review Board to confirm and get approval from the Board that the construction drawings are generally in keeping with the approved design review submission. The property is located at 60-66 Dorchester Street (PID #'s 336826 & 336818). Laurel Palmer Thompson, PII, presented the application.

Ms. Thompson indicated that this application was before the Design Review Board in 2014. At that time, the design reviewer recommended for the proposal with a request for a few details to be clarified prior to building permit. The Heritage Board which was the Board overseeing the process in 2014 approved the application at that time.

On August 2019, the applicants submitted a new set of drawings for the proposed building. The following changes are being proposed:

1. The front façade was originally to be clad in wood siding. The drawings have changed to incorporate a combination of a dark brick and wood siding.
2. The side elevations were originally to be clad in a metal siding that would run horizontal with a wood trellis over the siding. The applicant has decided to clad the side elevations with brick and a metal trellis over the brick.
3. The configuration of the roof top access has changed. Originally it was to be built with vertical lines and a flat roof. However, details about this feature were vague in the design submission. The construction drawings show a slanted roof on the roof top access. This may help to detract from giving an appearance of a 4th story which the design reviewer had concerns about.
4. The trellis on the front façade of the building appears to be similar to the original proposal however it does not wrap the corners like originally proposed. The side trellis now is comprised of metal and has been placed mainly to facilitate the growth of climbing vines.

Overall, staff feels that the bulk, mass, scale and building design layout is generally in keeping with the design submission that was approved during the design review process in 2014. However, because of the changes in cladding materials and the modifications to the trellis which seemed to be a substantial design feature in the original submission, staff is advancing this to the Design Review Board to confirm and get approval from the Board that the construction drawings are generally in keeping with the approved design review submission. The Board has the option to a) approve the drawings as submitted; b) suggest minor modifications; or c) if the Board feels the construction drawings are substantially different from the design review submission than the Board can refer the drawings back to the design review process. Silva Stojak, architect for this application, is here to provide more details of the design and the reason for the changes.

Ms. Stojak added that the original developer decided on metal siding to meet their budget requirements. The property has since been purchased by a private developer who had a larger budget for the project, hence allowing them to use better materials or a more substantial material than the initial metal siding. The adjacent buildings also have a brick façade and having a brick façade instead of a metal siding for this proposed development would also enhance the streetscape along Queen Street and Dorchester. Ms. Stojak also presented actual materials and colors of the proposed brick for the façade. Because the building is on the property line, the materials to be used must be non-combustible (brick or metal siding) and there should be no unprotected openings along that façade. To soften the look and add to the street view, trellis will also be located on the side of the building instead of just having a solid brick wall. Another change is redesigning the roof from flat to slant roof to give the appearance of a further step back which will make it even less visible from the street. The façade materials on the north elevation will be changed from wood to brick, glass and aluminum. Wood materials will be used for certain sections of this façade, around the entrances and around the garage to make it look softer and warmer. Bronze Aluminum color is proposed to be used around windows and doors. Mr. Gillis sent an email to staff on Friday with the following questions which were also answered by Ms. Stojak:

1. Colour & sample of brick masonry.
2. Colour / Finish of Aluminum Clad Garage Door

3. Fabrication Details of the Cedar Lattice on North Facade
4. Stairway access to roof terrace are not rendered on the North Elevation
5. Notation of material finish on East & West flanking elevations
6. Detail of Galvanized Tube Trellis on East & West elevations

Ken McInnis, RM, asked about the elevation if the roof access would just be an access to get out of the top floor and would the material that would be seen along Queen Street be metal. Ms. Stojack confirmed and explained that the small roof would be set back further and may not even be visible from Queen Street.

Brian Gillis, RM, commented that there were a lot of details provided in the initial design analysis and asked if the image shown would be what is being proposed and Ms. Stojack responded that the image shown would be the original design of the project. Mr. Gillis also clarified that the image shown was what was approved at that time and both Ms. Thompson and Ms. Stojack confirmed. Mr. Gillis felt that based on the information provided, the changes are substantive on a design point of view and there are not enough working drawings to show what is being proposed. Councillor Rivard asked Mr. Gillis if he felt that this needs to go back to the Design Review Process which was one of the three options presented by staff earlier.

Ms. Thompson felt that the bulk, scale and mass are in keeping with the project. Staff does not have the ability to just move ahead with the approval of the permit especially when there were modifications made to the approved design and whether the board feels that the changes are minor or not, and that is why staff is bringing this back to the board to provide their recommendations. Ms. Thompson also noted the recommendations provided at the time of the original review in terms of the materials. She indicated that some of them were incorporated in this new proposal.

Mr. Gillis also clarified what the roof would look like from the corner of Queen and Dorchester. Ms. Thompson responded that instead of looking at a straight roof, it is now slanted back and will be harder to see from the street. The design reviewer also commented that if the roof was at 90 degrees, it would give the appearance of a fourth storey. The slanted roof could be a response to the design reviewer's comments. The design reviewer also commented on the material to be used for the garage and that it had to be of a good quality material. The proposed materials submitted would be an aluminum glazed garage door. Staff has difficulty gauging or commenting on what would be better or good architecture or whether the changes are better or not and therefore would like to get the board's input.

Councillor Rivard asked how many of the recommendations in 2014 were incorporated in this new proposal and Ms. Thompson confirmed that that was some changes to the current proposal.

Councillor Greg Rivard asked for comments or questions; there being none, the following resolution was put forward:

Moved by Brian Gillis, RM that the revised proposal for the four-unit, three storey townhouse at 60-66 Dorchester Street (PID #s 336826 & 336818), be sent back for Design Review.

Alex Forbes, PHM, also added that if this project is sent back for Design Review, it will be reviewed by a different design reviewer.

No one seconded the motion.

Councillor Julie McCabe clarified that the applicant has gone through the design review process already but are back today to present changes to the project such as materials to be used. Mr. Gillis also added that aside from the materials, it would also be changes to the details of the project. Mr. Gillis commented that it would be easier to be able to see a rendering of what is being proposed at this time and be able to differentiate what was originally approved to what is being proposed. Councillor Rivard then clarified that another option may be made today which is to defer the application until drawings are presented. Ms. Stojak confirmed that they are able to provide revised concept drawings and further information. Ms. Stojak also added that the massing and proportions would remain as is and the proposed materials are more substantial than the original design.

Councillor Greg Rivard asked for comments or questions; there being none, the following resolution was put forward:

Moved by Councillor Julie McCabe and seconded by Kris Fournier, RM, that the revised proposal for the four-unit, three storey townhouse at 60-66 Dorchester Street (PID #s 336826 & 336818), be deferred until working drawings be produced and presented to the board.

CARRIED

Moved by Councillor Julie McCabe and seconded by Councillor Bob Doiron, that the meeting be adjourned.

The meeting was adjourned at 12:27 p.m.

Councillor Greg Rivard, Chair



BRICK



LIGHT WOOD



DARK WOOD



METAL



FRONT ELEVATION



NINE
YARDS

PERSPECTIVE

Catane, Ellen

From: Thompson, Laurel
Sent: Monday, September 30, 2019 4:04 PM
To: Saunders, Todd; Catane, Ellen
Cc: Forbes, Alex
Subject: FW: For the Design Review Board
Attachments: Renderings.pdf

Hi Todd and Ellen:

Silva just sent me this email and the new renderings for the project on Dorchester St. In my absence would you both be able to send these drawings and the answers to Brian Gillis's questions to the design review board for review and comment. Silva is hoping to be able to keep the process moving so she is able to get a decision at the next Council meeting. Ellen can you look and see if there are any dates available for another design review meeting prior to the next Council meeting?

Thanks,

Laurel

From: Silva Stojak [<mailto:silva@9ystudio.com>]
Sent: Monday, September 30, 2019 3:58 PM
To: Thompson, Laurel
Subject: For the Design Review Board

Hi Laurel,

Attached is the rendering and our answers to Brian's question

Hello Ellen,

Did a further review of the drawing package and have these additional questions which should be available for the meeting on Monday.

- 1) Colour & sample of brick masonry. **Colour of brick is "Port Morian" by Shaw. Sample of colour and size of brick will be submitted.**
- 2) Colour / Finish of Aluminum Clad Garage Door. **Colour will be dark grey/black. Approximate sample will be submitted.**
- 3) Fabrication Details of the Cedar Lattice on North Façade. **HSS 2x3 beams to be span horizontal opening at top and bottom of each trellis section. Beam to bolt with end plates into brick veneer. Reviewed with Structural. 4 equally spaced Vertical 2x2 cedar members to be mechanically fastened to HSS member. 2X6 cedar slats with 6" spaces to be anchored to vertical 2x2's. Detail typical.**
- 4) Stairway access to roof terrace are not rendered on the North Elevation **Do not understand this question.**
- 5) Notation of material finish on East & West flanking elevations **East and west elevation to be exclusively brick veneer finish with exception of the roof access which will be finished in standing metal cladding.**
- 6) Detail of Galvanized Tube Trellis on East & West elevations **This has yet to be completely worked through. It will be a simple tube structure that may actually be epoxy painted black to disappear into the finish of the brick. Intent is that the vertical members will be supported directly by the brick veneer.**

Silva Stojak, Architect

NINE YARDS

T: 902.566.4449
C: 902.393.6015
<http://9ystudio.com/>

From: Thompson, Laurel <lthompson@charlottetown.ca>
Sent: Thursday, September 26, 2019 4:00 PM
To: Silva Stojak <silva@9ystudio.com>
Subject: RE: Power Point from Design Review Board

Sounds good Silva!

Thanks,

Laurel

From: Silva Stojak [<mailto:silva@9ystudio.com>]
Sent: Thursday, September 26, 2019 3:57 PM
To: Thompson, Laurel
Cc: Catane, Ellen; Saunders, Todd
Subject: Re: Power Point from Design Review Board

We hope to send this to you tomorrow afternoon or first thing Monday.

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On Thu, Sep 26, 2019 at 3:54 PM -0300, "Thompson, Laurel" <lthompson@charlottetown.ca> wrote:

Hi Silva:

Just wanted to let you know that I will only be in the office next Monday. I am out on Tuesday onward so the sooner you can get me the revised concept drawing the better as Ellen will need to find a date to schedule another design review meeting prior to the Council meeting on October 15. Dates are filling up fast for the meetings. Once I receive something from you I will email it around to the Board for review.

If you will be sending the revised drawings after I am away then please send them to Ellen and Todd and they will make sure they are forwarded to the Board.

Best Regards,

Laurel

From: Silva Stojak [<mailto:silva@9ystudio.com>]
Sent: Wednesday, September 25, 2019 5:19 PM
To: Thompson, Laurel
Subject: Re: Power Point from Design Review Board


Thanks Laurel.
Silva

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On Wed, Sep 25, 2019 at 2:30 PM -0300, "Thompson, Laurel" <lthompson@charlottetown.ca> wrote:

Please consider the environment before printing this e-mail!

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TITLE: <p style="text-align: center;">DESIGN REVIEW FILE: DESIGN-2019-10-OCTOBER- 7-9 POWNAL STREET (PID #1105451) OWNER: 102296 PEI INC.</p>		 CHARLOTTETOWN
MEETING DATE: October 10, 2019		Page 1 of 4
DEPARTMENT: Planning & Heritage	ATTACHMENTS: <ul style="list-style-type: none"> A. Design Review Submission (December 4, 2017 PW Rev 2) B. External Design Reviewer Comments (February 8, 2018) C. Revised Design Review Submission (February 14, 2018 rev) D. Heritage Board (Design Review) Minutes (March 1, 2018) E. Building Permit Submission (September 4, 2019) 	
SITE INFORMATION: Context: 500 Lot Area Ward No: 1 – Queens Square Existing Land Use: Vacant Property Official Plan: Waterfront Zoning: Waterfront (WF) Zone		
PREVIOUS APPLICATIONS: Design Review approval was granted on March 1, 2018.		

RECOMMENDATION:

The Planning & Heritage Department encourages the Design Review Board to send the revised plans to construct a four storey mixed-use building containing 13 residential dwelling units at 7-9 Pownal Street (PID #1105451) to the original design reviewer in order to receive conditional approval again due to the proposed alterations to the previously approved plans on March 1, 2018 before returning to the Design Review Board for final approval.

Request

The property owners are applying to change the design of the proposed four storey mixed-use building containing 13 residential dwelling units to be constructed at 7-9 Pownal Street (PID #1105451).

Design Review / Development Agreement History

The applicants signed into a Development Agreement to construct four storey mixed-use building containing 13 residential dwelling units subject to the previous Design Review approval. The timeline of the Design Review approval and Development Agreement is as follows:

- October 18, 2017: \$1,500 payment received to initiate the Design Review process.
- January 10, 2018: Design Review submission sent to the external design reviewer, Peter Fellows, for approval.
- February 8, 2018: Conditional approval granted by Peter Fellows.
- March 1, 2018: Final approval granted by the Design Review Committee.
- June 12, 2018: Development Agreement signed as per the plans approved by the Design Review Committee attached as Schedule “B”.
- September 13, 2019: Building & Development Permit application submitted to construct a four storey mixed-use building containing 13 residential dwelling units.
- October 3, 2019: Email sent to applicant outlining the list of proposed changes needing to be reapproved by the Design Reviewer and / or Design Review Committee.

ANALYSIS:

Section 3.1 of the Development Agreement states that *‘any proposed changes or alterations to the plans as shown in Schedule “B” or the building use shall necessitate an amendment to this Agreement and must first be approved by the City in writing by way of an Addendum to this Agreement.’*

During the review of the Building & Development Permit application, it was determined that a number of design changes from the original Design Review approval have been proposed. The changes include, but are not limited to:

Multiple Elevations

- Altered: 'Aluminum siding' instead of 'painted horizontal wood siding'
- Altered: Design of the elevator / stair / mechanical penthouse.

East Elevation

- Removed: Balconies on the left side of the façade (above garage door).
- Removed: Trim below ground floor windows on the right side of the façade.
- Altered: Five remaining balconies now project approximately 2.0 ft.
- Altered: Canvas roof canopy covered part of cornice on the ground floor.
- Altered: Design of the ground floor deck and ramp.
- Added: Third column of windows on the left side of the façade.
- Added: Crown molding and sheet panel above the second floor windows on right side of façade.
- Added: Sheet panel below the second floor windows on right side of façade.

North Elevation

- Removed: Trim below ground floor windows on the left side of the façade.
- Altered: Fourth floor middle window.
- Altered: Cornice above third floor windows at the corner is less prominent.
- Added: Crown molding and sheet panel above the second floor windows on left side of façade.
- Added: Sheet panel below the second floor windows on left side of façade.

South Elevation

- Removed: Cornice doesn't define the parapet.
- Altered: Windows and doors alignment.
- Added: Balconies encompass the entire façade.

West Elevation

- Removed: Balconies in the middle of the façade.
- Altered: Windows realigned to account for interior washroom.
- Added: Exit stairs in corridor.
- Added: Second and third floor windows in corridor.

Staff has reviewed the changes and believes the proposed changes are significant and should be reapproved by the Design Reviewer and the Design Review Committee prior to signing / approving an Addendum to the Development Agreement.

Notwithstanding, staff feel that the Design Review Board has three options:

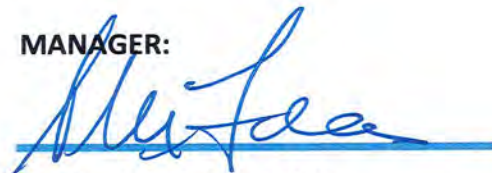
1. Approve the revised drawings as submitted;
2. Approve the revised drawings as submitted subject to modifications; or
3. Direct staff to send the revised drawings back to the design reviewer prior to having the Design Review Board review / approve the revised drawings.

CONCLUSION:

Staff is recommending that the Design Review Board directs staff to send the proposed changes back to the design reviewer, effectively restarting the design review process.

PRESENTER:

Greg Morrison, MCIP
Planner II

MANAGER:

Alex Forbes, MCIP, MBA
Manager of Planning & Heritage

ATTACHMENT 'A'



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Coast Design Inc. Box 21142 Charlotletown, PE C1A 9H6
Email: david@coastdesign.ca Tel: 902-626-8253

A 200

Water St View

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

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Email: david@coastdesign.ca Tel: 902-626-8253

A 201

Pownal St View

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

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Date: Dec 4, 2017 PW Rev 2



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A 202

Pownal St View SE Corner

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A 203

South West View

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Address Charlottetown PE
Client Greensview Gables Inc

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A 203

North East Corner View

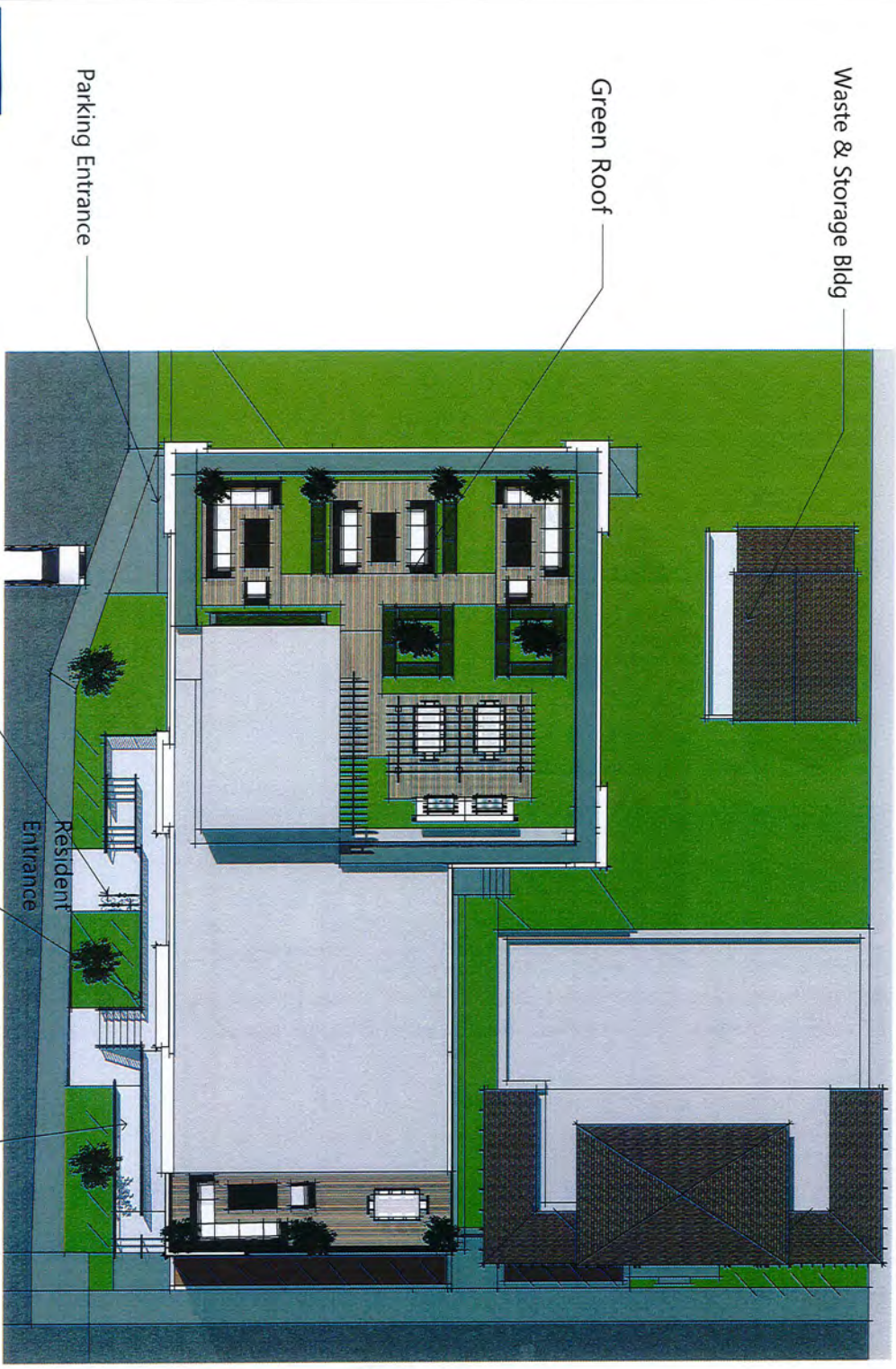
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2 bicycle park Class B

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Powndal St

Water St

A 205

Roof Plan View

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Address Charlottetown PE
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A 206

Roof Garden View

Project 24 Water St Apartments
Proj # 16002
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A 207

North West Aerial View (Circulation)

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

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Date: Dec 4, 2017 PW Rev 2



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A 208

Water St View from West

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

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A 209

Water St Elevation

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

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49'-11 1/2"



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 Email: david@coastdesign.ca Tel: 902-626-8253

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A 210

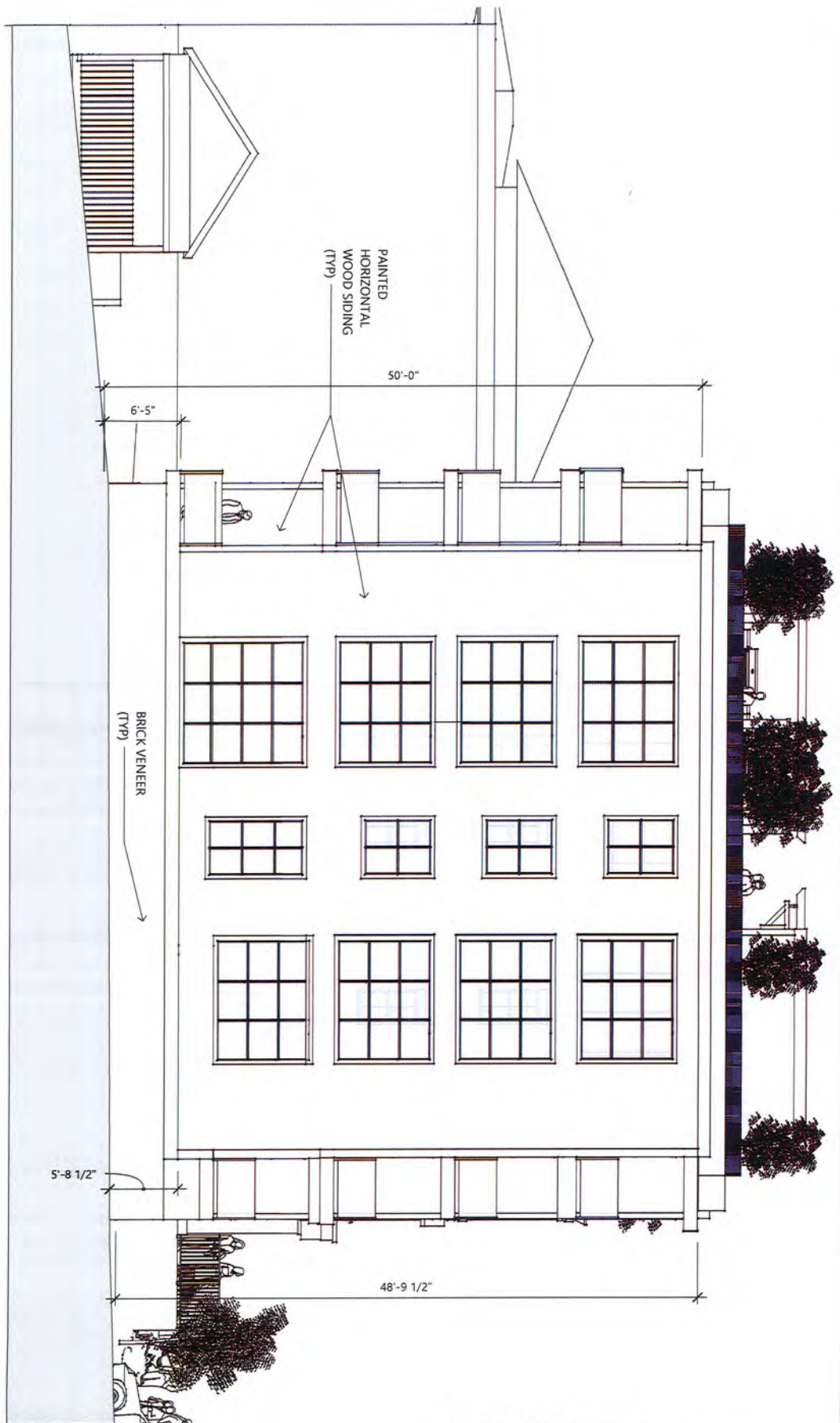
Pownal St Elevation (East)

Project 24 Water St Apartments
Proj # 16002
Address Charlotletown PE
Client Greensview Gables Inc



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A 211

South Elevation

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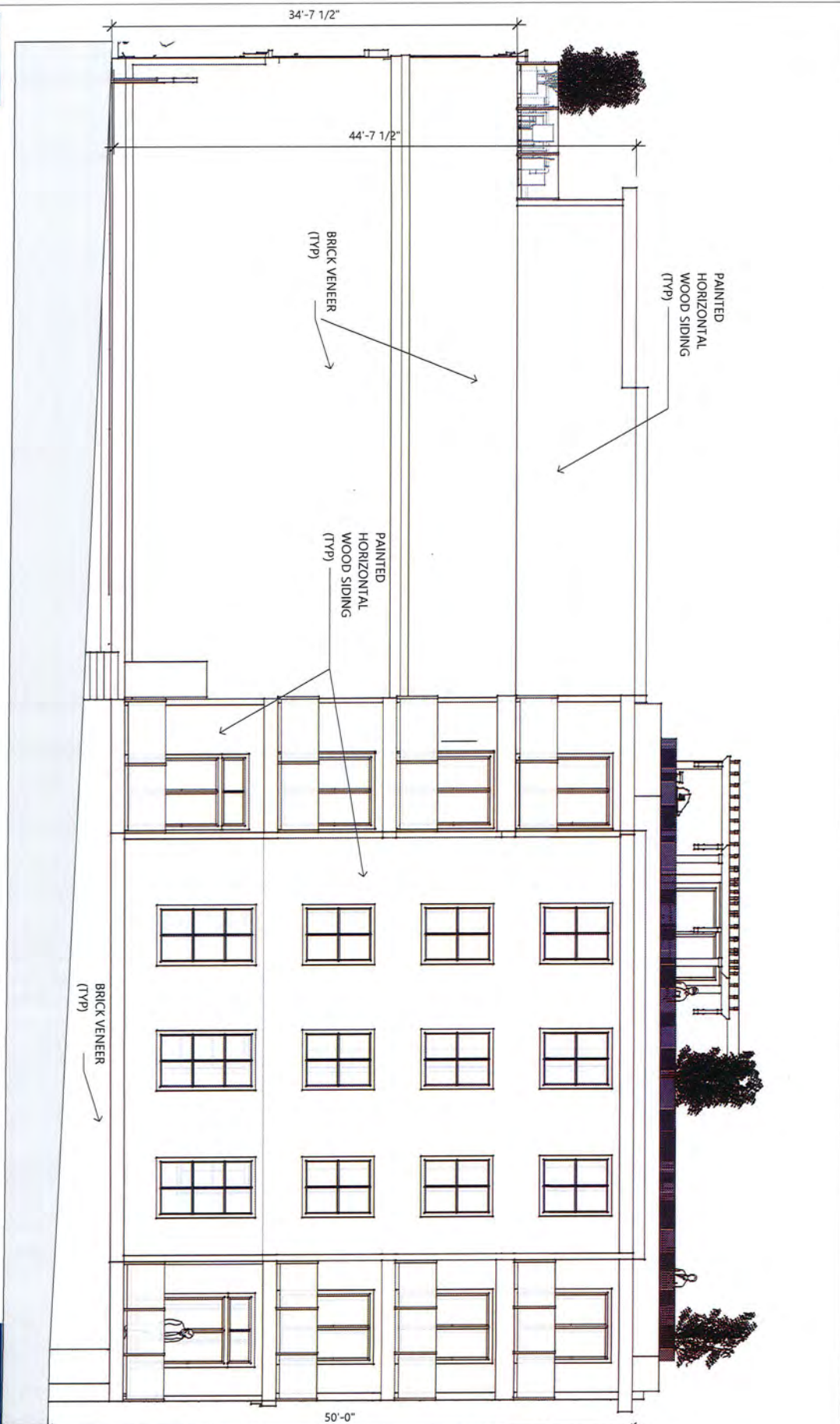


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A 212



South Elevation

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

ATTACHMENT 'B'

FELLOWS & COMPANY LIMITED

169 Dundonald St. E3B 1W7

T: 506.462.6140

F: 506.462.6141

fellows@nb.aibn.com

Peter Fellows, B.Arch., AANB

February 8, 2018

FCL Project 1013

Alex Forbes, MBA, MCIP
Manager of Planning and Heritage
City of Charlottetown
PO Box 98, 233 Queen Street
Charlottetown, PEI
C1A 7K2

Attn: Alex Forbes

Sir:

Re: 24 Water Street, Charlottetown, PEI Design Review

We have attempted to review this application in the spirit intended using generally accepted design practices and referencing the City of Charlottetown regulations, Zoning & Development By-Laws, 500 Lot Area Guidelines, and the Heritage Board report respecting this subdivision proposal. We have consciously tried to put our own design parameters aside and concentrate on what has been presented. Any comments and/or recommendations are intended as guidelines to the applicant and the City. It is not the intent of this review to be negative but rather to identify details which might be revisited. We leave these in the hands of the Staff and Applicant.

If either party should take any offence at our comments they should note that none is intended, as other reviewers have previously stated our opinions are just that- opinions. Our role is to provide food for thought and to challenge the proponents and the City, to enable the City of Charlottetown to be the recipient of the best solution for this parcel of land.

Having stated the above here is our design review of the subdivision of PID # 1068105 located at 24 Water Street in the Waterfront Zone (WF) of the 500 Lot Area of Charlottetown.

Design Review Parameters

This application was reviewed with references to the:

- Applicant's drawings: A101, A200, A201, A202, A203, A203 (A204?), A205, A206, A207, A208, A209, A210, A211, A212, and A300 - all dated December 4th, 2017.
- The City of Charlottetown Heritage Report #4 - dated May 30th, 2017 including A100, A101, A102, A103- all dated May 2017
- City of Charlottetown Zoning & Development By-Law - amended December 12th, 2017
- City of Charlottetown 500 Lot Area Development Standards & Design Guidelines- Undated

Design Review Comments

1. Discrepancies

We found that there are discrepancies between plans and also between elevations. For example, A101 of December 4th shows 3 apartments vis-à-vis A101 of May 4th which shows 2 units and the stairs are in different locations. We have no December drawings indicating revisions to A100, A102 and A103-consequently we are unclear about the total number of units or how to get to the gym deck, Windows missing on Water Street on A101 of December 4th in retail area, windows on Pownal Street elevation A210 do not match plan A101 December 4th. Patio door sizes to decks appear to be different sizes from plans to elevations.

Recommendations

1.1. In the spirit of good design we think the plans and elevations should match or at least confirm which version is correct- a final set should be reviewed prior to final approvals.

2. Patio Door

Sizes appear to be different between the plans and the elevations. Also without the upper plans it is hard to tell, but the balconies on Pownal Street appear to have 45° walls? This is unclear.

Recommendations

2.1. Again a revision to plans and elevations should be clarified prior to any approval.

3. A200, A208, and A209

Water Street composition has been improved since the first renderings in the Heritage Report. It should be noted that the windows of the existing Heritage apartment building are split 40/60 with 6/9 window panes. There is also a strong cornice overhang at the roof line-a motif that is pleasant. The same goes for the bracket work on the upper roof.

Recommendations

3.1. We think that the ground floor windows in the brick wall would be better served in the same 6/9 window proportion; with the second and third staying in the 6/6 proportions.

3.2. The brick work at the belt line should probably at least be in a contrasting brick colour our perhaps even a sandstone cornice projecting beyond the brick. We might look at shutters on the lower floors to soften the brick walls. Although the Heritage Board thought the new structure overpowers the Heritage one, we disagree. With the added gate and the material selection on the new building we like the proportions and the massing of the structures.

3.3. The corner on the new building being done in wood is a good thing but we find the two dormers (similar to the Heritage building's) a bit busy and would probably be best eliminated. It also appears that unlike the other wood sided areas this corner is wood shingles instead. This too, becomes a bit busy and perhaps the same wood siding is a better choice than the shingles even if painted a different colour.

4. A201, A202, A203 and A210

The corner of Water and Pownal Streets at the main level is, in our opinion, a little odd. The material under the commercial windows is unidentified and we wonder should it be brick, or should it be shingles as above? The earlier concepts had this as an inset corner which looked better, but we understand the ramp and stair issue preclude this corner as an entry point. Maybe a broader question is the amount of brick on Pownal Street façade.

Recommendations

- 4.1. Perhaps the glazed corner could be stepped inward by three feet on both street faces so that the columns would be more defined and meaningful. The column pediments should sit on the foundation rather than be applied to it. The material under the windows could be of commercial aluminum type.
- 4.2. We also caution on using the same brick colour on Pownal Street as that on Water Street. Using a different colour, texture or product such as stone will help accent the corner "tower" and make it appear to be its own structure.
- 4.3. Our feeling is that the waterfront end of the structure (on Pownal Street) should express the wood siding down to the overhead door and eliminate the strong horizontal line to the left of the apartment entry. This would be more true to the design as this is an apartment and not commercial space.
- 4.4. The stairs & elevator penthouse massing might be helped by changing the wood siding colour to the lighter tone so as not to draw the eye to this level, thus aiding the massing.
- 4.5. With respect to the railings, while we agree that the commercial ones should be different construction, it might be an idea to use frosted glass for all balconies. Doing this will not prevent the daylight from filling the units but in our opinion it will tend to reduce the sometimes nasty "balcony storage look" from being viewed by passersby.
- 4.6. If the centre balconies, which we think have only glazing on one side, have similar shingles or colouring to match the corner "tower" the façade will be nicely broken up and yielding the preferred "smaller building" look along Pownal Street.
- 4.7. Finally the tall windows to the left of the entry and the larger window next to the Water Street roof patio might look less out of place if they were no taller than the other adjoining windows on the Pownal Street Façade.

5. A212 and A300

The waterfront face has been done in a very pleasant layout which we like. We are unclear, as there is no true site plan, what the out-building is? Does it belong to the Heritage structure? Where are the three required parking spots shown on A100 (May) drawing? Do they still exist? And how are they accessed? Is the adjacent property a road or lane? More information would be helpful.

Recommendations

- 5.1. The brick work here is, in our opinion, an unneeded luxury. Money might be better spent on simple landscape shrubbery. While we appreciate the views and the

windows it might warrant reducing the lower left window to match the adjoining one (see above)

6. A212 and A300

The façade facing the Heritage buildings' rear yard has been done well. Brick veneer under the apartment portion is perhaps not needed. The left hand balconies are extremely close to the rear decks and the exterior stairs of the Heritage building.

Recommendations

6.1. As above, shrubbery in the four foot setback area screening the concrete wall might be more pleasant and cost effective for both buildings. Due to the proximity of the tenants from the Heritage building the designers may wish the side rail of the balconies to be full height frosted glass screens to protect both buildings privacy yet not closing off too much view or light

7. A205, A206 and A207

Roof top terraces and green roofs are accessible to all tenants and are a positive amenity. The private deck which is set back on the fourth floor from Water Street certainly helps the massing when viewed from street level.

Recommendations

7.1. On these levels the glass railings should probably remain clear as opposed to frosted. As we look at A207, the three large windows facing this patio do not indicate how one accesses this terrace. As this is an exclusive unit, the windows could be shorter therefore less imposing while still providing a great view.

7.2. On an unrelated matter the designers might want to check on exiting requirements in the NBC from the green roof at the elevator penthouse level.

8. Compliance with By-Laws

The designers appear to meet all prescribed regulations set out on section 44 of the City of Charlottetown Zoning & Development By-Law including heights, parking, setbacks, unit varieties, green roof, etc. The main floor is set 1.37 meters higher than required which is good.

Their construction materials choices do not violate the regulations and indeed for the most part have been well done.

Recommendations

8.1. With respect to the "walkable" Pownal Street façade our only caution would be to ensure the entrance driveway to the underground parking be surfaced in paver like materials.

8.2. It would help the building appeal from this level if the shop windows were to be awninged. Awnings here will not obscure any visual lines to the shops from passersby and would add great pedestrian enhancement and potential interaction.

9. Heritage Provision

We have reviewed the By-Law with respect to this application and specifically section 6.6 and 6.7. We feel that this proposal has attempted to meet the spirit of the Heritage Sections. We do not feel that the size of the new structure dominates its neighboring building but rather works with it instead. The gated laneway is intriguing and helps tie the two buildings together. The Heritage of 24 Water Street is protected and respected.

Recommendations

- 9.1. The applicant has tried to minimize the encroachment on the rear of the Heritage building so as not to block views from 24 Water Street. While the Heritage Board would have been happy if the property line went straight from Water Street, the truth is that Pownal Street already jogs and the result forces any new development to do likewise.
- 9.2. If we were the designers of this project and the property line had to be straight from Water Street back the resulting parcel would not be suitable for apartment development due to its narrowness-in this case the jog helps.
- 9.3. We concur with the Heritage Board's findings except we feel that the scheme presented does not "overpower the historic street scape and individual buildings" as they did.

Design Review Conclusions

After our review we feel that this project is heading in the proper direction and we believe that the designers can tweak their creation in such a way as to be beneficial to the citizens of Charlottetown. It is in keeping with the spirit of good design and the objectives as set out by the City.

As we all know, much of a design review like this is very much subjective; and we have tried to envision the project through the eyes of the applicant, the designers, the Heritage Board, and the City staff. We recommend that a "conditional review approval" be given this project under the terms of the Design Review process.

We are also appending a few notes that have little bearing on the City's decision but we wish to pass on to the designers to aid them in their project.

Thank you for allowing us to assist in the process and apologies for its tardiness.

Yours truly,



Peter Fellows, B.Arch., AANB

Ps- Architectural Comments and Cautions

We offer these comments to the designers as "cautions" that may require more review on their part specifically with regards to window sizes.

-
1. While we have no detail on the type of structural material being employed (ie concrete, steel or wood.) nor do we know if the building is to be sprinklered, we are not in a position to make hard statements. We caution the Architects to review the National Building Code requirements for the allowable areas for un-protected openings vis-à-vis limiting distances in the building walls. We would be especially concerned about the water side and the Heritage building side.
 2. In a similar vein, they might wish to investigate with the Authorities Having Jurisdiction as to whether or not the existing windows in the Heritage building might require any fire protection (fire shutters) due to the relocated property line (ie limiting distances).
 3. The two blank walls facing the existing Heritage structure will most likely be required to be constructed as fire rated walls with non-combustible cladding, therefore the intended wood siding shown at the end of the lane on A200 might have to be altered. This also applies to the fourth level above the brick.
 4. Finally we have a concern with respect to the four corner decks adjacent to the Heritage property. The Architects might wish to add some visual screening to the sides. These are shown nine feet away from the existing building but our observation is that the existing building has decks and stairwells which are not shown on A101 (December 4th, 2017) and they may only be about four feet from deck to deck.


ATTACHMENT 'C'



Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

Water St View

A 200


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Coast Design Inc. Box 21142 Charlotletown, PE C1A 9H6
 Email: david@coastdesign.ca Tel: 902-626-8253

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Date: Feb 14, 18 Rev



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Email: david@coastdesign.ca Tel: 902-626-8253

A 201

Pownal St View

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

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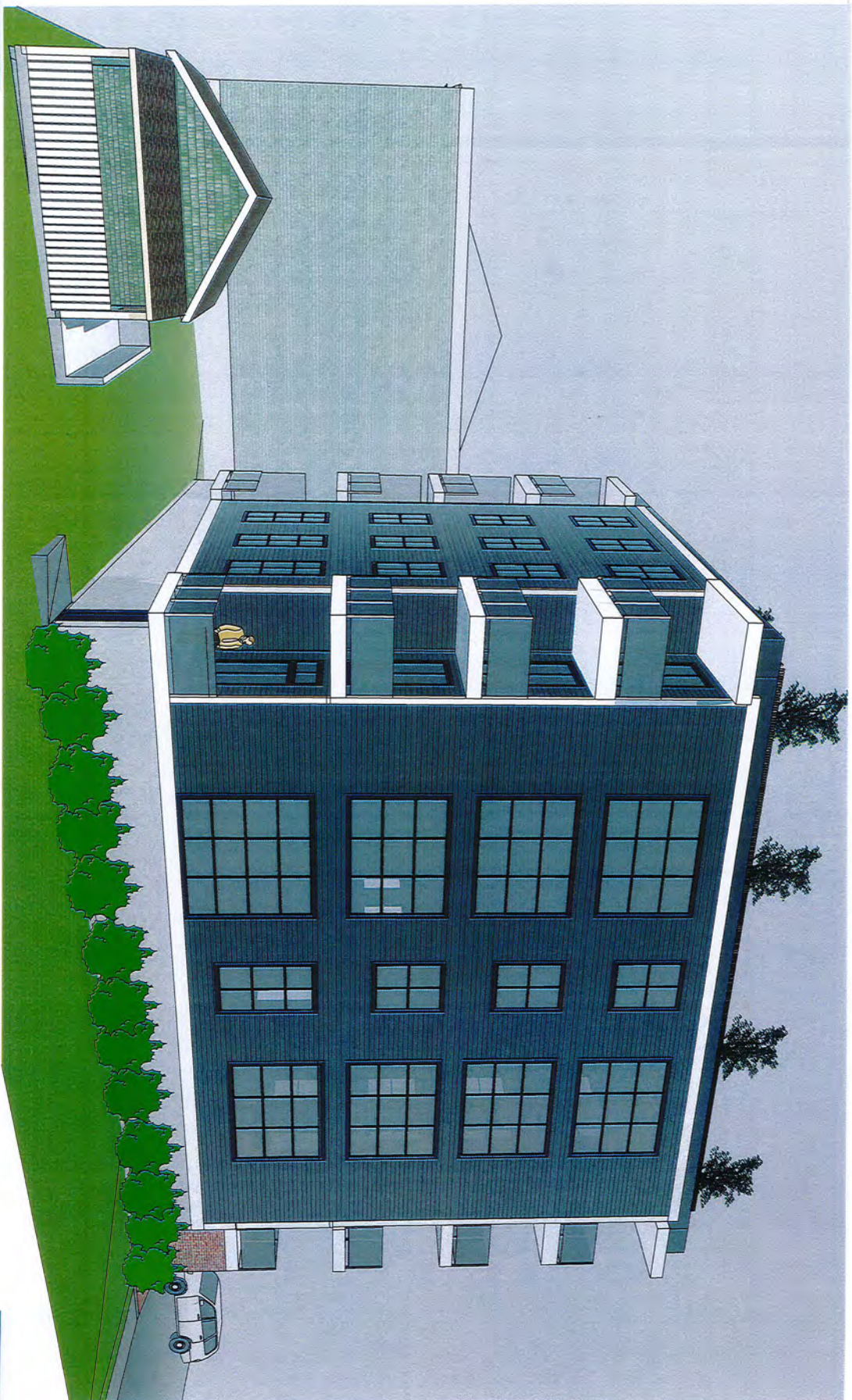
A 202

Pownal St View SE Corner

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Proj # 16002
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Client Greensview Gables Inc

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A 203

South West View

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

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A 203

North East Corner View

Project 24 Water St Apartments
Proj # 16002
Address Charlotletown PE
Client Greensview Gables Inc

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2 bicycle park Class B

Coast Design Inc. Box 21142 Charlotte, PE C1A 9H6
Email: david@coastdesign.ca Tel: 902-626-8253

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Roof Plan View

Date: Feb 14, 18 Rev



Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc



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Email: david@coastdesign.ca Tel: 902-626-8253



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A 206

Roof Garden View

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc



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Email: david@coastdesign.ca Tel: 902-626-8253

A 207

North West Aerial View (Circulation)

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

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A 208

Water St View from West

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

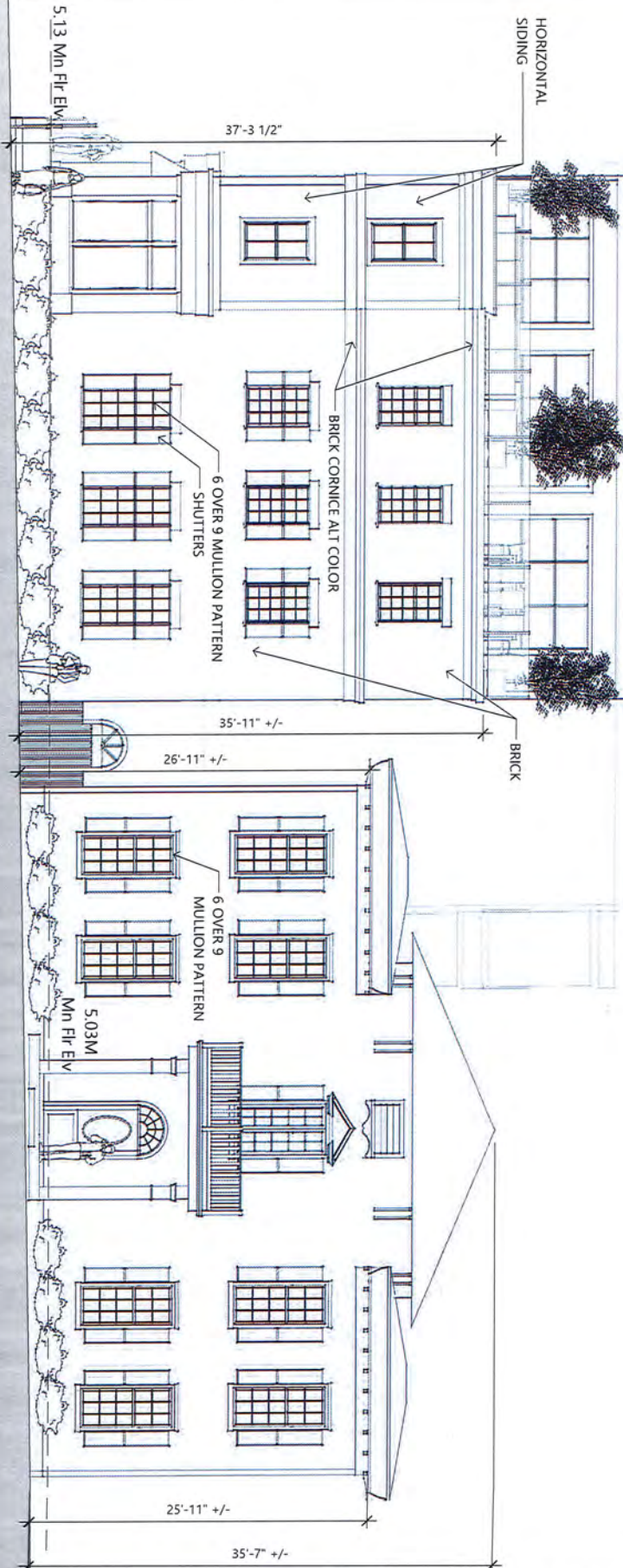
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A 209

Water St Elevation

Project 24 Water St Apartments
Proj # 16002
Address Charlotletown PE
Client Greensview Gables Inc



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DESIGN
INC.

Coast Design Inc. Box 21142 Charlotte, NC 28211
Email: david@coastdesign.ca Tel: 902-626-8253

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A 210



Pownal St Elevation (East)

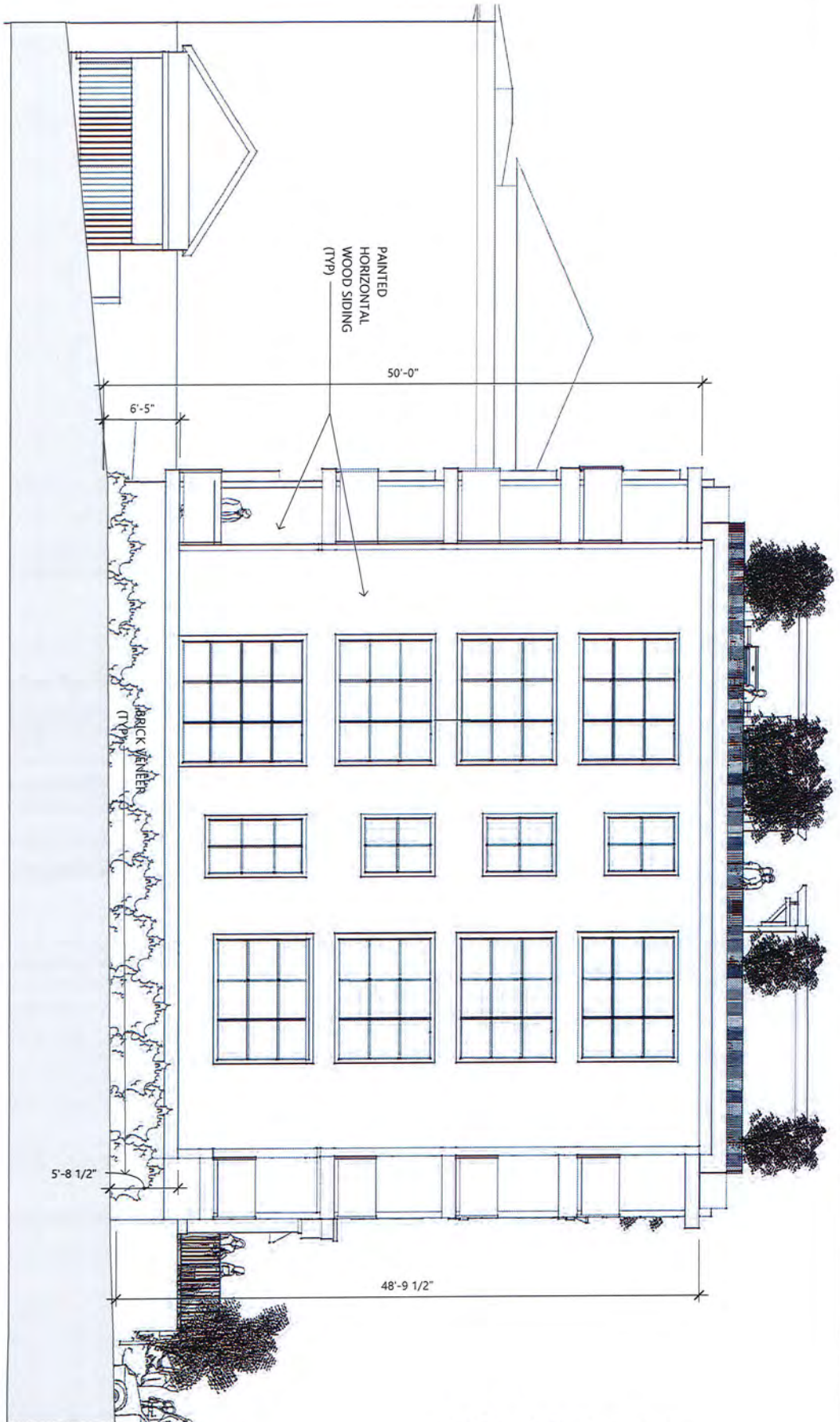
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South Elevation

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A 211

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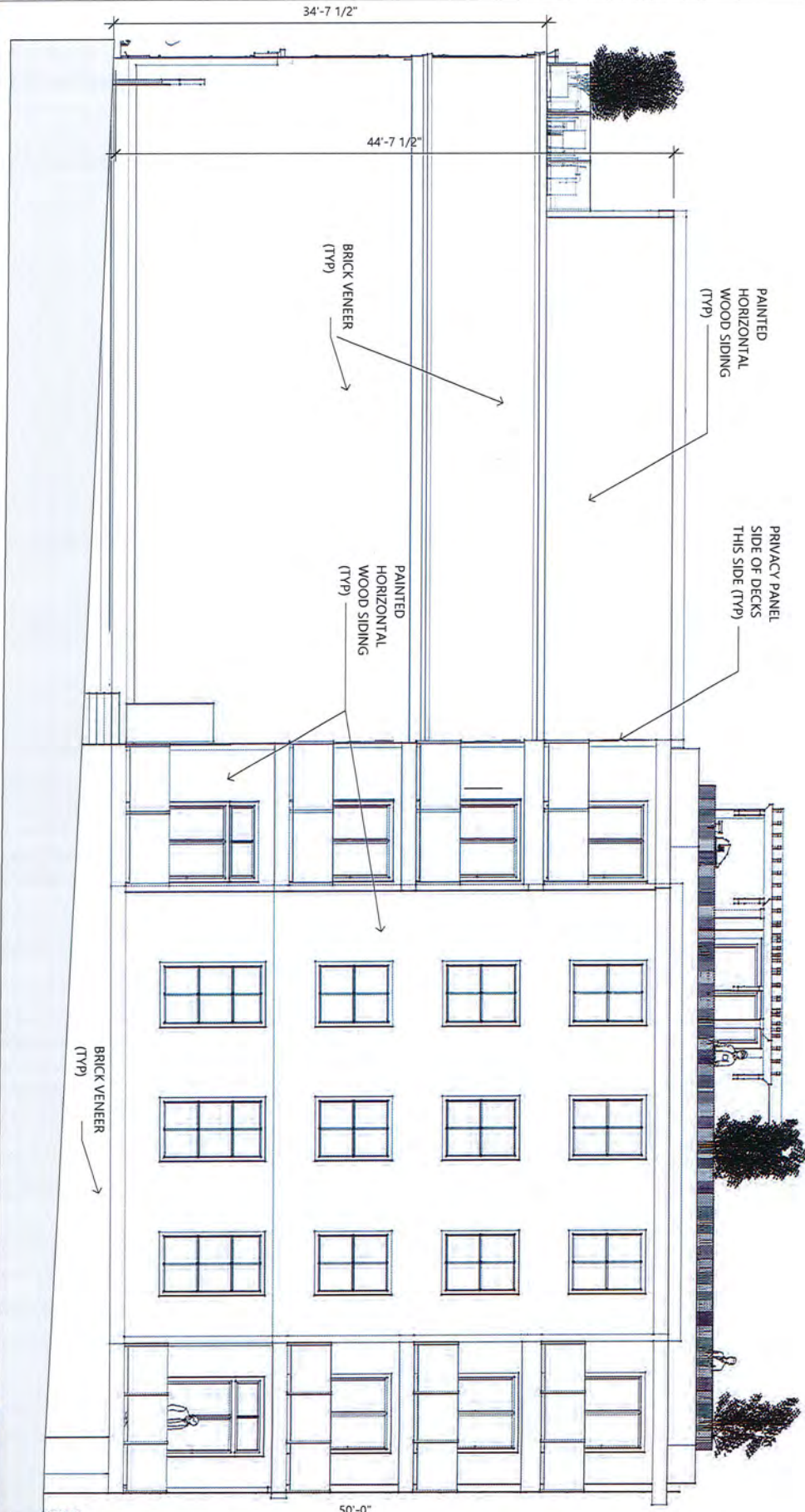
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A 212



South Elevation

Project 24 Water St Apartments
Proj # 16002
Address Charlottetown PE
Client Greensview Gables Inc

ATTACHMENT 'D'

**PLANNING AND HERITAGE COMMITTEE – HERITAGE BOARD
MARCH 1, 2018, 12 NOON
PARKDALE ROOM, CITY HALL**

Included Councillor Greg Rivard, Chair
Councillor Terry MacLeod
Ron Coles, RM
Todd Saunders, HO

Councillor Jason Coady
Bobby Shepherd, RM
Greg Morrison, PII
Alex Forbes, PHM

Regrets Tara Maloney, RM
Ian MacLeod, RM

Simon Moore, RM

The meeting was called to order at 12:05 and no conflicts were declared. The Agenda was approved noting the removal of 20 Euston Street as the application was incomplete.

1. **24 Water Street (PID#1068105)** – application for a new four storey mixed use building. 24 Water Street is a designated Heritage Resource and is located in the Waterfront Zone (WF) of the 500 Lot Area. The applicant presented a design to Heritage Board for discussion only in March 2017. Comments from Board members were passed on to the architect and the design was revised accordingly. The developer applied in May 2017 to subdivide the property to create a new lot for development fronting on Pownal Street. As part of the discussion to subdivide, a revised conceptual design for development of the proposed lot was presented. The application was supported pending approval through the design review process. As the design continued to develop, the applicant presented the design to Heritage Board in December 2017 for information and discussion only prior to it being sent for independent design review.

Comments received from the Design Reviewer dated February 8, 2018 were generally favourable and the architect has revised the proposal in accordance with these comments. David Lopes, architect and Kevin Green, owner attended meeting and presented the application.

The application includes:

- A four storey mixed use building with underground parking accessed from the south end of the building on Pownal Street.
- The side yard/alley between the proposed building and 24 Water Street measures 7ft 3½in wide. A metal fence and gate is set back approx. 4ft from the Water Street façade.
- The building is proposed to be three stories in height on Water Street with the fourth floor being stepped back 12ft. Exterior deck spaces on the rear roof are accessed from a fifth storey utility room/access. The roof deck on the south half of the roof space is also considered a green roof. The roof garden fronting on Water Street is accessed directly from the fourth floor unit.
- An accessory building is proposed to accommodate waste and storage which will be located in the rear yard of 24 Water Street.
- The building measures 42ft 11½in. on Water Street, 120ft 4in along Pownal Street, and is 68 ft. deep on the south elevation. The site “jogs” behind the building at 24 Water Street approx. 17ft.

- The ground floor at the corner of Water Street and Pownal Street is occupied by commercial space with its own separate entrance off Pownal Street. The main residential entry is also accessed from Pownal Street approx. midway along the building. Canopies have been added over the commercial windows further identifying the use of the space.
- Sixteen residential units occupy the remaining ground floor, 2nd, 3rd, and 4th floor levels.
- The building is clad in a combination of brick veneer, painted horizontal wood siding, metal and glass railings.
- Windows on Water Street have been altered following comments from the design reviewer to copy windows on the neighbouring building at 24 Water Street.
- As in previous iterations of the design the height and historic elements of neighbouring building are acknowledge with a brick cornice, materials of the area, and the articulation of the corner detail.
- The stair/ramp system on Pownal Street encroaches on the City's ROW. Limited access on Water Street resulted in the removal of the open corner on the building.
- This project has been under development for approximately two years. Recent design revisions are the result of the Design Reviewer's comments. These include revising the windows on the Water Street façade to match those of the adjoining heritage building and further emphasizing the two horizontal bands by changing the colour.
- The Design Reviewer had suggested the design of the corner was becoming a bit busy with triangular window pediment. This has now been removed and the lower level storefront corner has been further articulated and sits on the foundation.
- The massing on Pownal Street has been adjusted somewhat in an effort to address the Design Reviewers comments. The corner has a "cut out" and windows are duplicated in an effort to create some symmetry. The Penthouse colour has been changed and the massing/materiality of the the ground floor residential unit has been adjusted.
- Additional landscaping on the south elevation has been implemented in lieu of brick as suggested by the Design Reviewer. Privacy screens have been included on the decks on the west façade. Deck railings are to be frosted glass in order to screen outdoor contents.
- The entrance to the parking garage will be paved with coloured concrete or paving stones to make it more pronounced and differentiate it from the sidewalk for pedestrians.
- Shutters have been added to the first two floors on the Water Street facade

Comments/concerns noted:

- The tree near the parking entrance may block visibility as it matures.
- Both the pre-design review and post design review designs are nice.
- The applicants were thanked for working with the city through the process on this project.
- Parking for this project and the designated building at 24 Water Street must still be resolved.
- Free egress from 24 Water Street must also be resolved.
- Minor design alterations can be approved by the Planning Department.

MOVED AND SECONDED THAT THE APPLICATION FOR A FOUR STOREY MIXED USE BUILDING ON THE SUBDIVIDED LOT ADJOINING 24 WATER STREET (PID#1068105) AS PRESENTED PENDING ALL OTHER REQUIRED APPROVALS BE APPROVED.

CARRIED

Discussion:

▪ Water Street at Stan MacPherson Way south east corner – MCPEI Tribal office building design. David Lopes, architect provided a brief summary on the design which is being forwarded to the Design Reviewer.

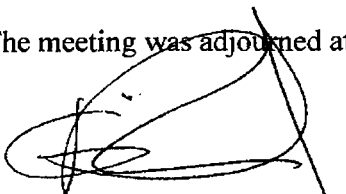
The design includes:

- Charlottetown Harbour Authority has an interest in maintaining as much of the adjoining parking lot as possible. The footprint of the building has been rotated 90 degrees from an earlier design to allow more existing parking to remain. This results in increased views of the waterfront along Water Street.
- The finished floor height and building entries have had to be re-designed as a result of these changes.
- Stone siding is proposed for part of the building façade on the lower two of the three floor levels. It is expected the remainder will be clad in either wood or metal siding which can look similar. They are looking for something which will be long lasting.
- The entries will have to be addressed with respect to street level access. This is required to be a walkable street but there is currently no sidewalk.
- The craft center on the corner will have operable walls in an effort to increase pedestrian interest.
- The street corner of the building is largely glazed.

Comments/concerns noted:

- The extended roof projection around the top of the building in an earlier iteration may be able to be incorporated into this design in some manner.
- This project requires Planning Board review and design review prior to formal application being made.

The meeting was adjourned at 12:45 PM.

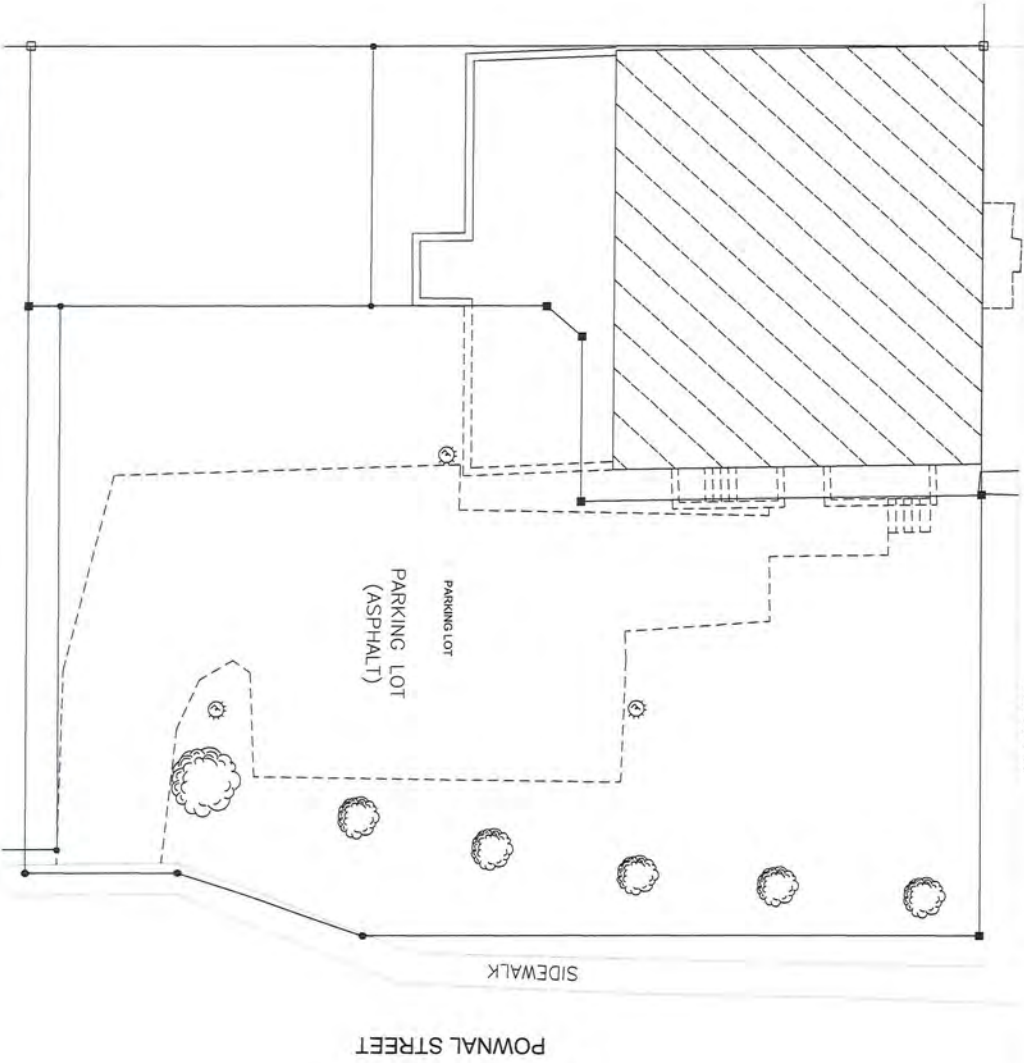
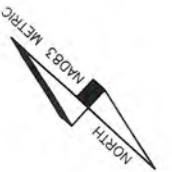


Councillor Greg Rivard

ATTACHMENT 'E'

WATER STREET

SIDEWALK



1 DEMOLITION SITE PLAN
ALT SCALE 3/8" = 1'-0"

POWNAI STREET

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Pownal - Water St Apartments

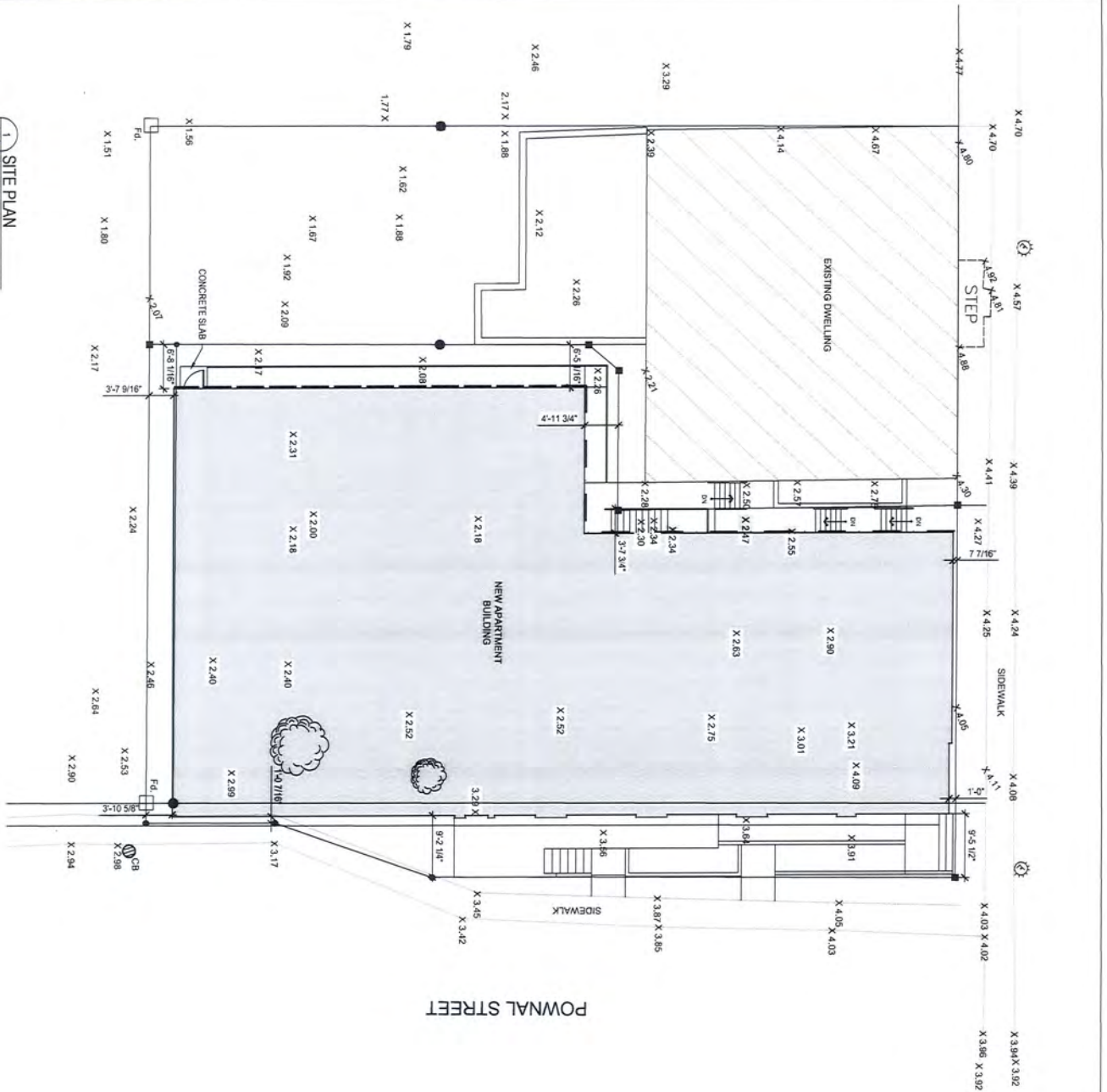
7 & 9 Pownal St
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DEMOLITION SITE PLAN

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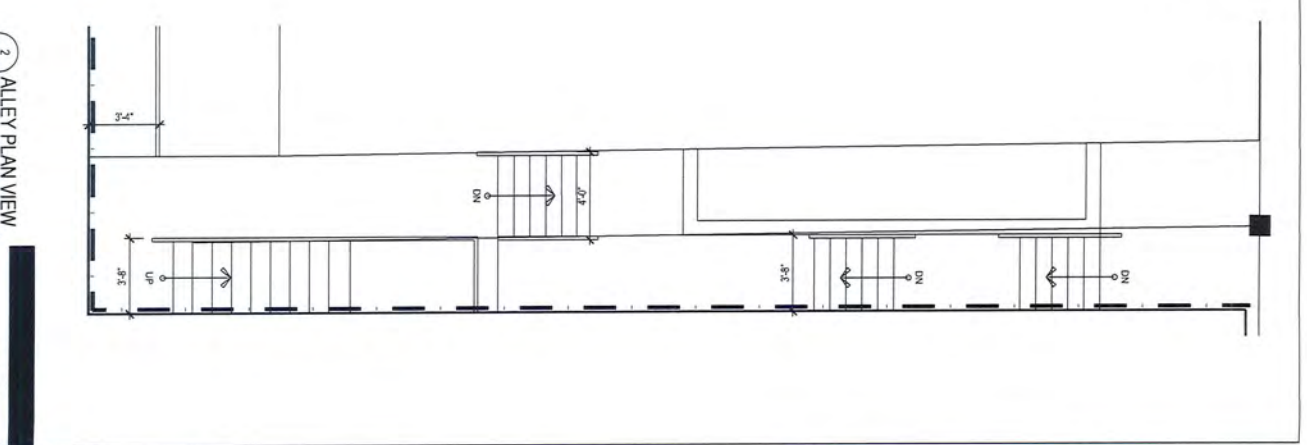
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A1.1



1 SITE PLAN
SCALE 3/32" = 1'-0"

2 ALLEY PLAN VIEW
SCALE 3/32" = 1'-0"



NORTH

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SITE PLAN

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A1.2



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Basement Parking Plan

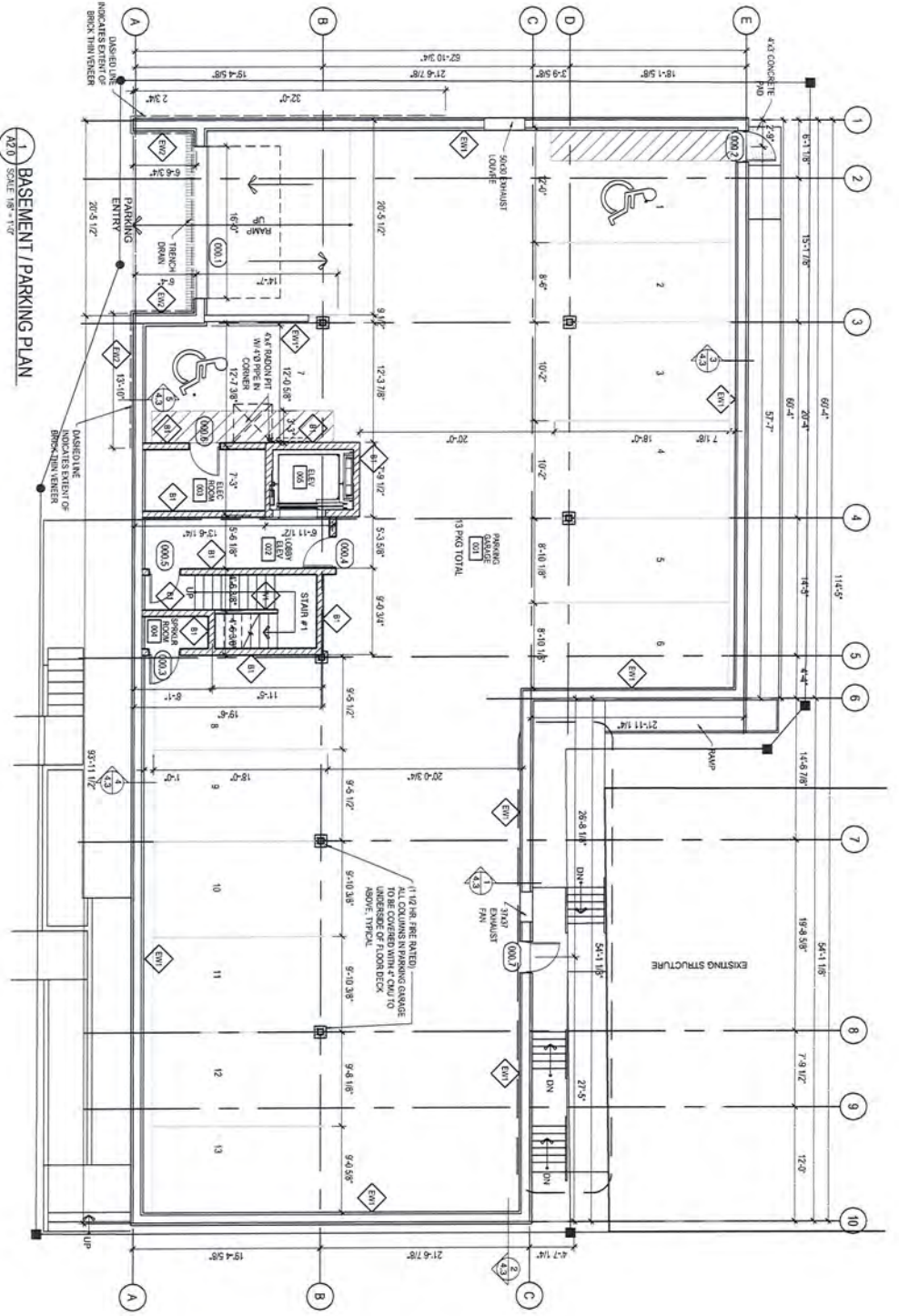
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1 BASEMENT / PARKING PLAN
 A2.0 SCALE: 1/8" = 1'-0"



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Pownal - Water St Apartments

Main Floor Plan

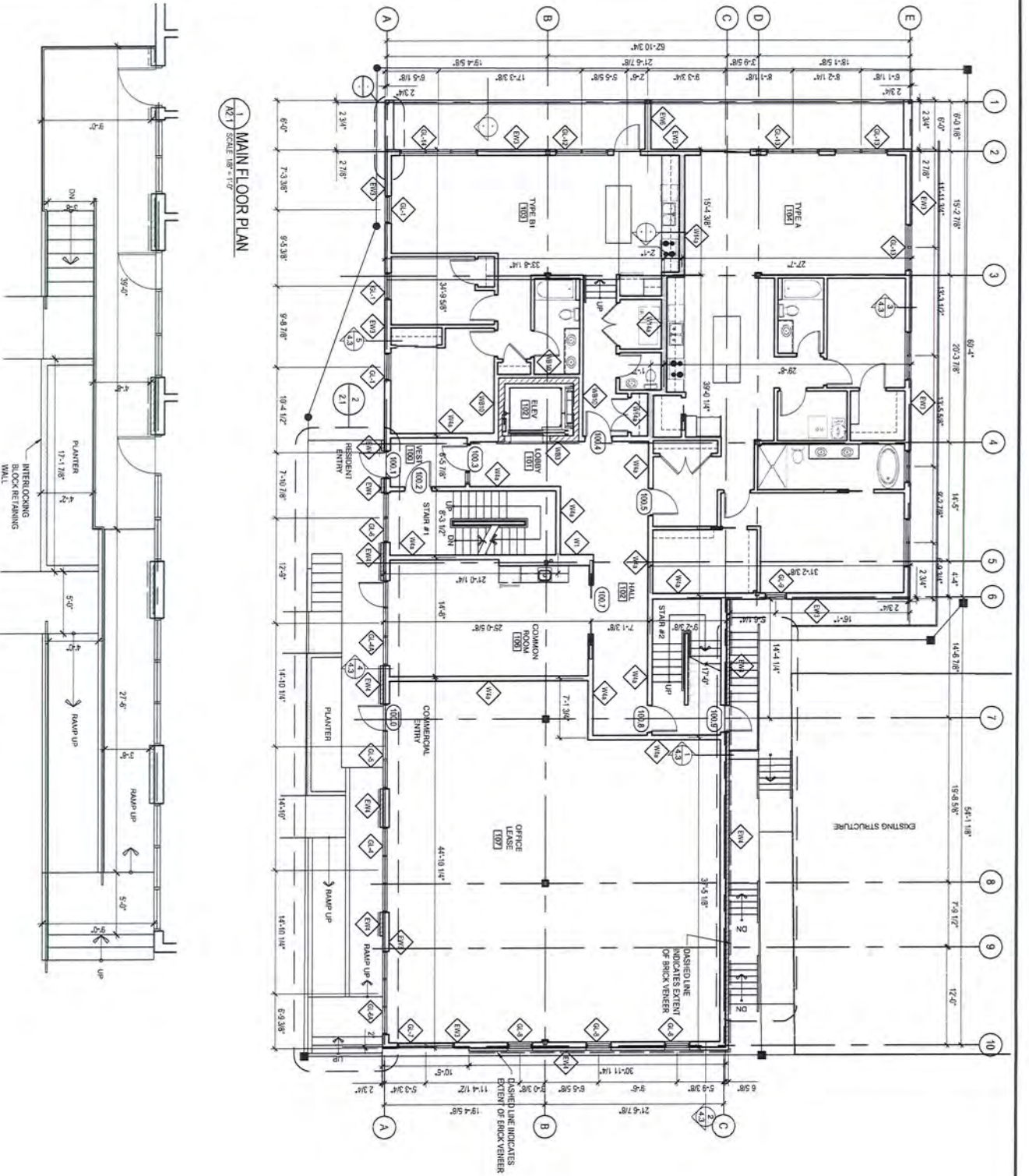
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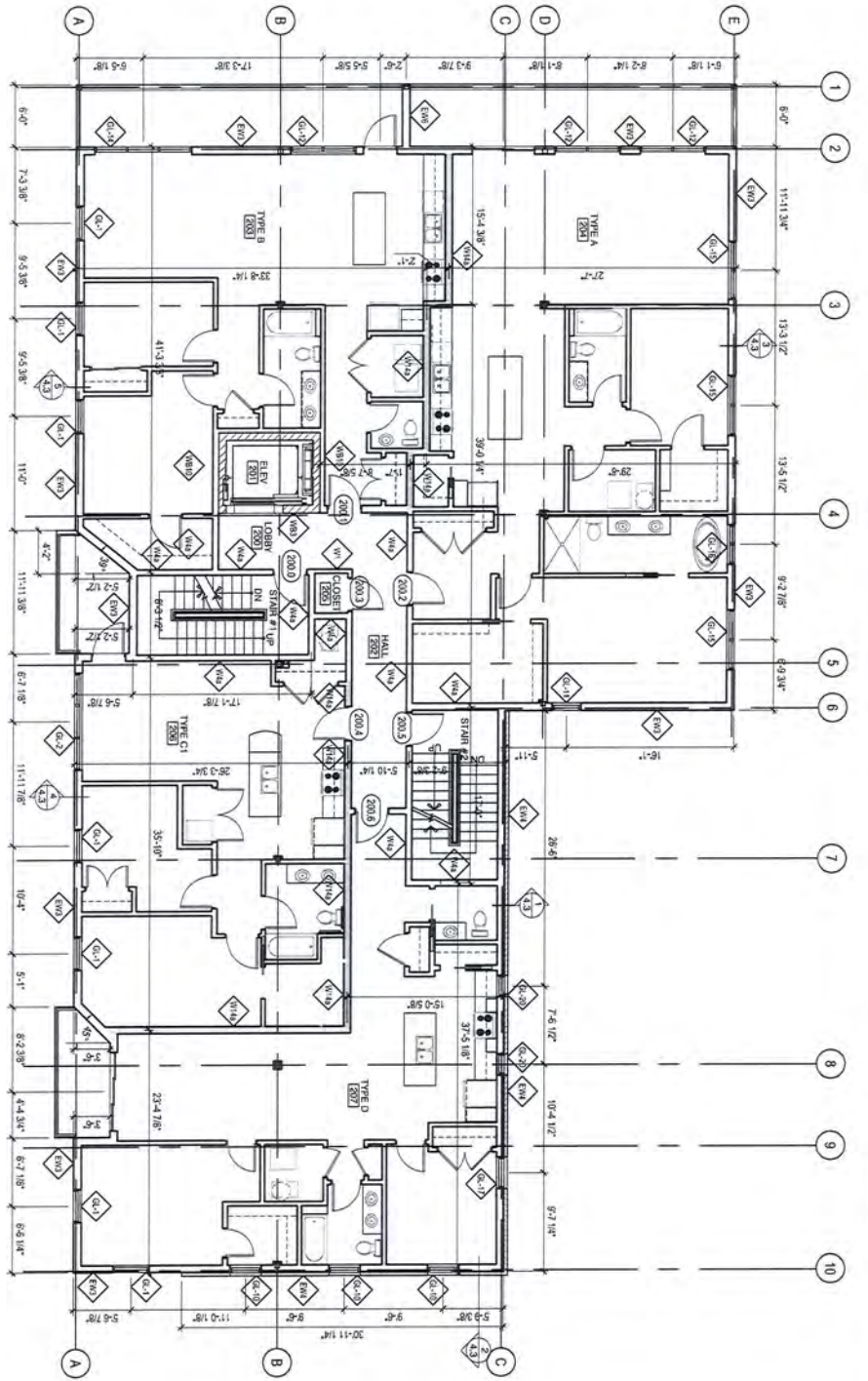
A2.1



1 MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"

2 ENLARGED ENTRY
 SCALE: 3/8" = 1'-0"

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1 2ND FLOOR PLAN
A2.2 SCALE 1/8" = 1'-0"

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Pownal Water St Apartments

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Second Floor
Plan

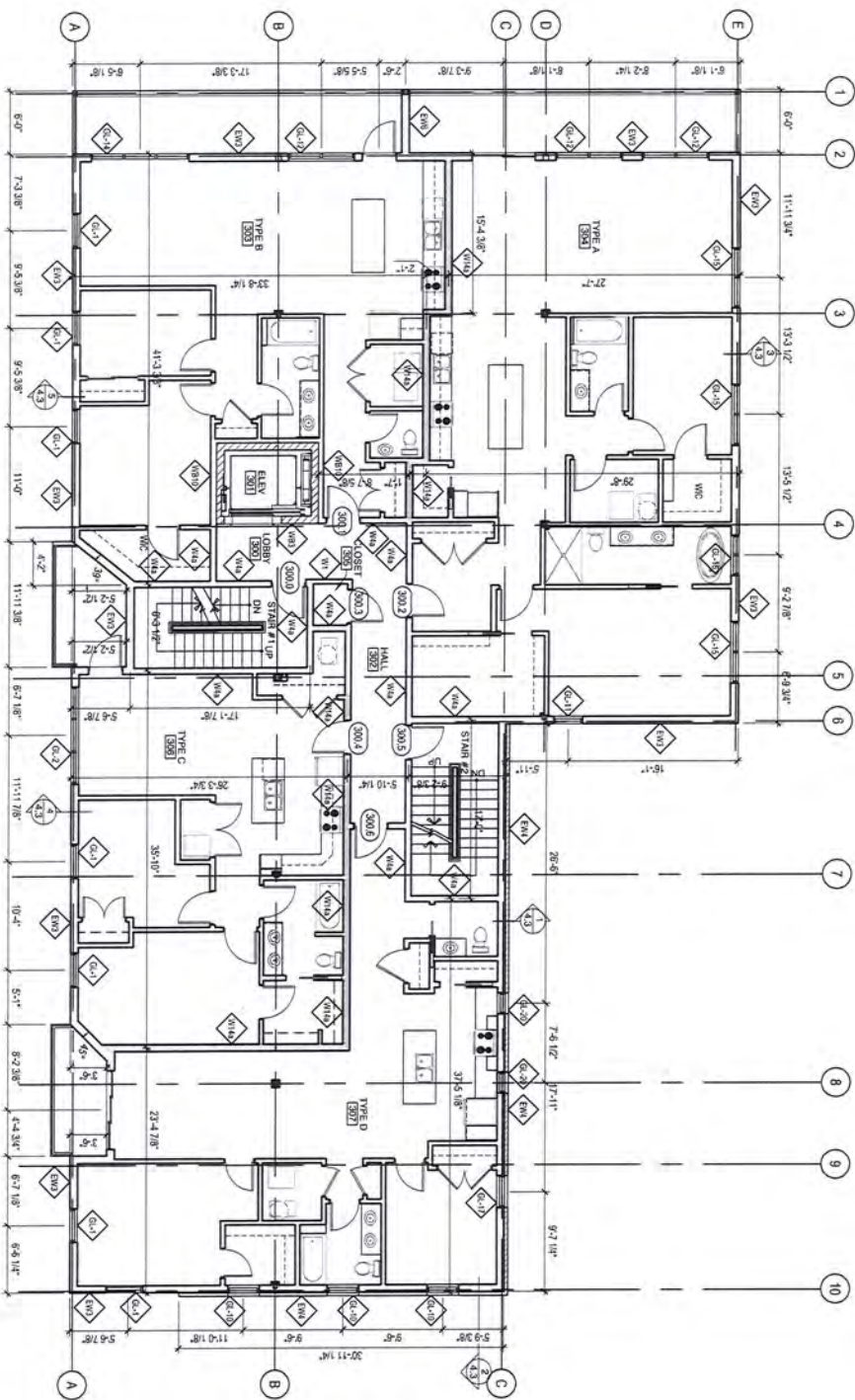
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A2.2



3rd FLOOR PLAN
SCALE 1/8" = 1'-0"

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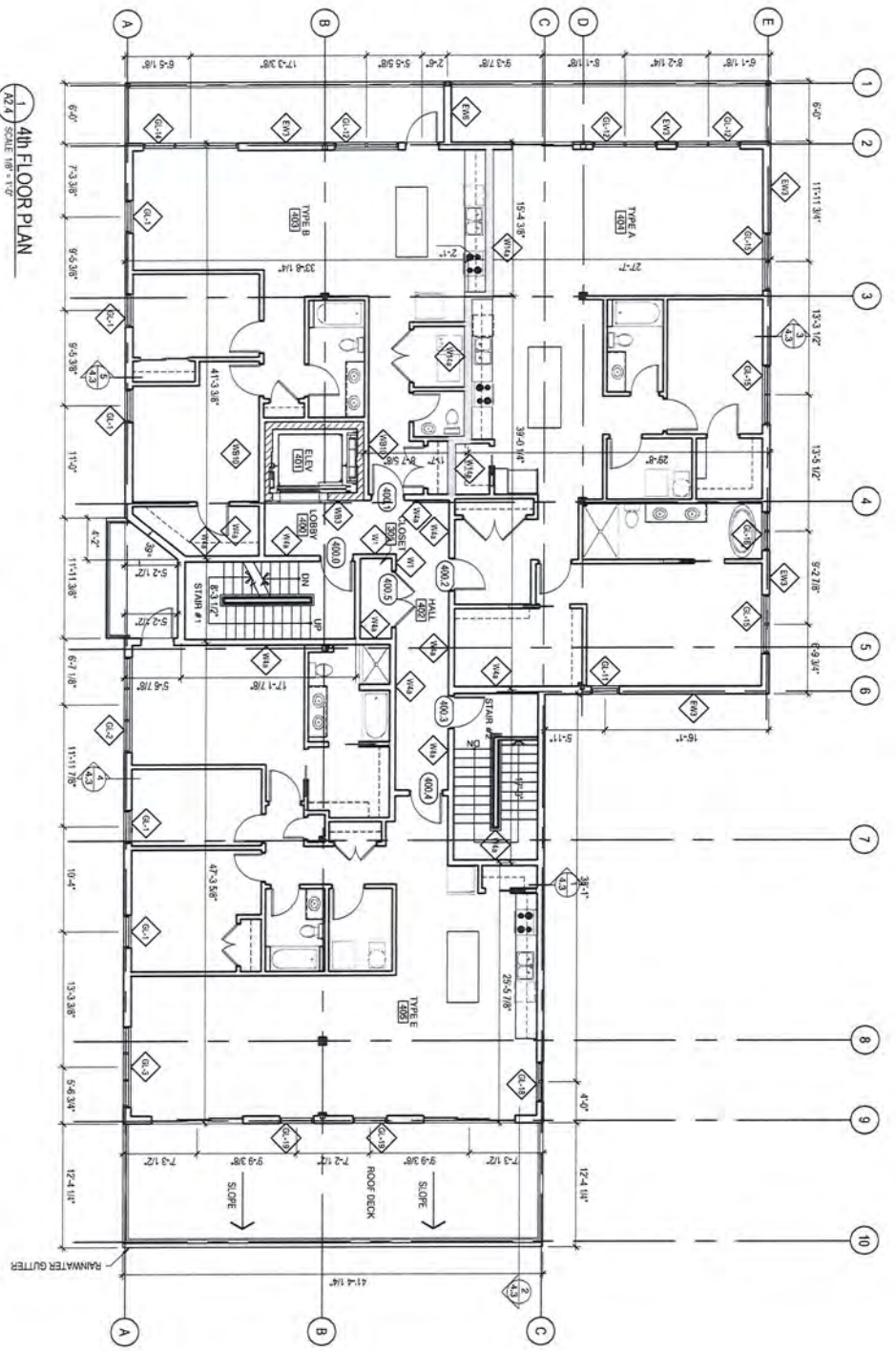
Third Floor
 Plan

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A2.3



1 4th FLOOR PLAN
A2.4 SCALE: 1/8" = 1'-0"

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Pownal Water St Apartments
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Fourth Floor
Plan

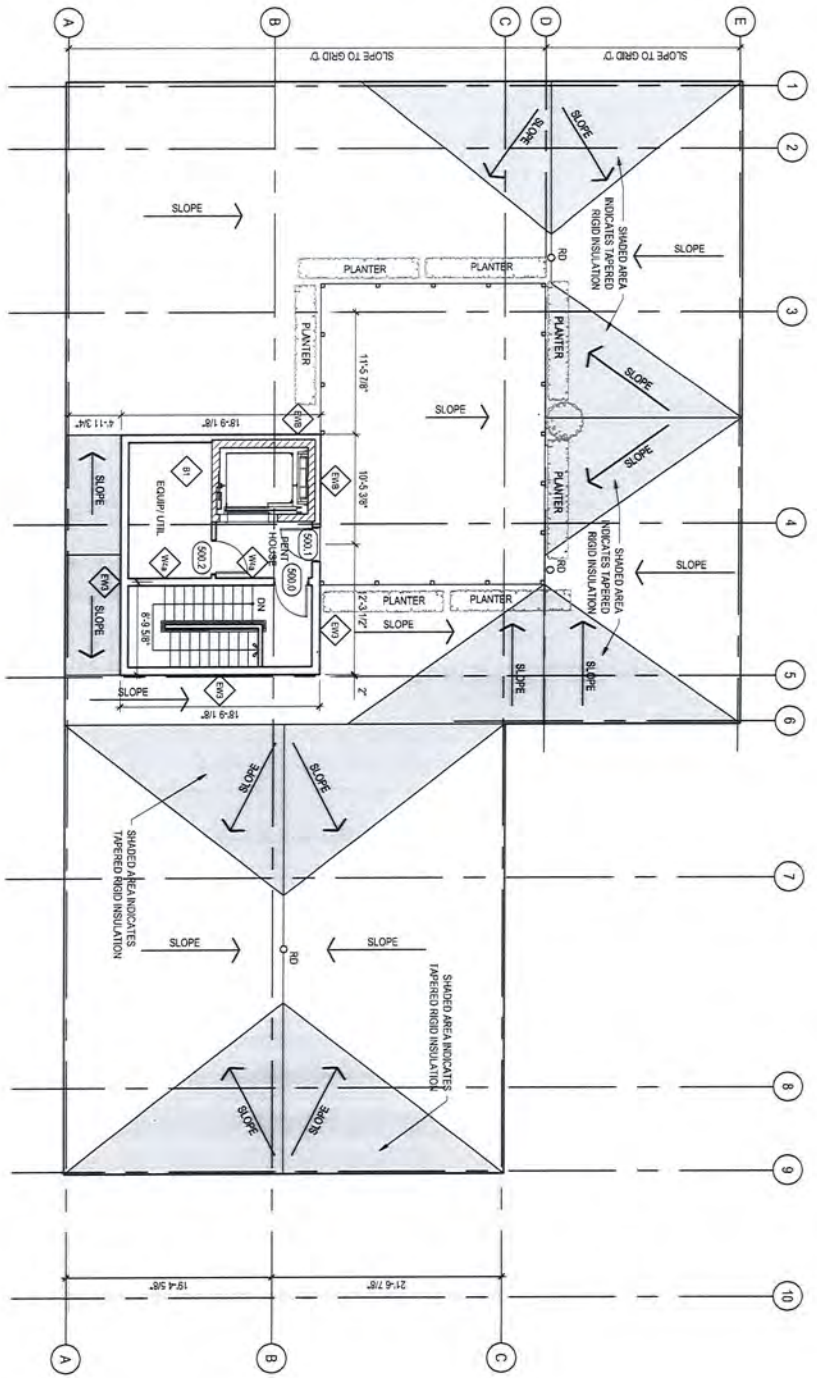
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A2.4



1 ROOF PLAN
 AS5 SCALE 1/8" = 1'-0"

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Roof Plan

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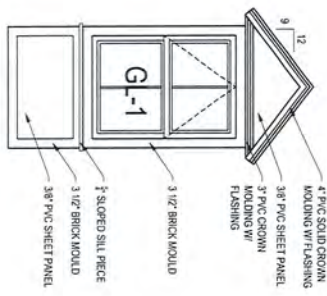
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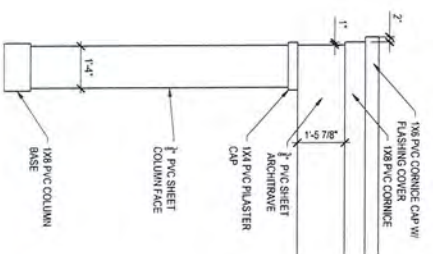
A2.5



1 EAST ELEVATION
 A3.0 SCALE 1/8" = 1'-0"



2 ENLARGED WINDOW DETAIL
 A3.0 SCALE 3/8" = 1'-0"



3 ENTRY DOOR ARCHWAY MOLDING DETAIL
 A3.0 SCALE 3/8" = 1'-0"

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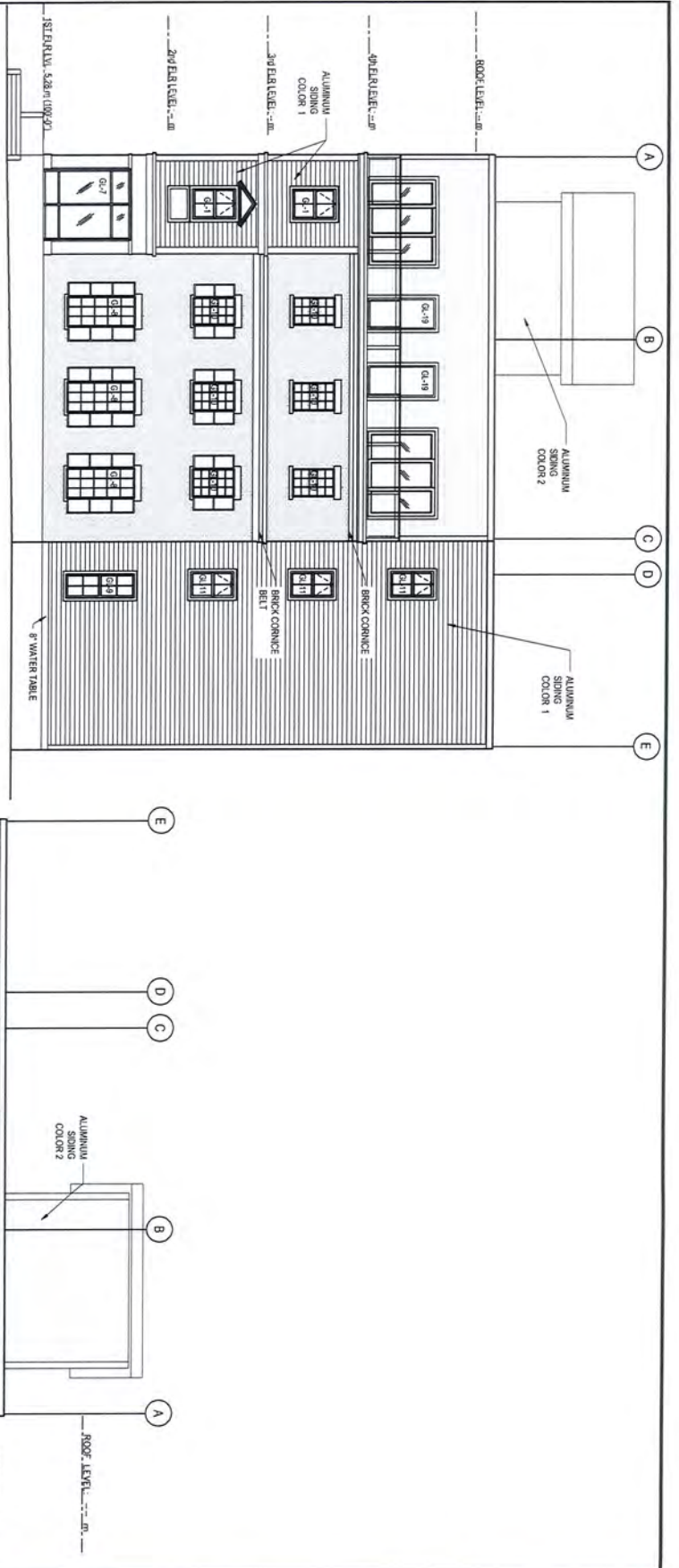
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East Elevation

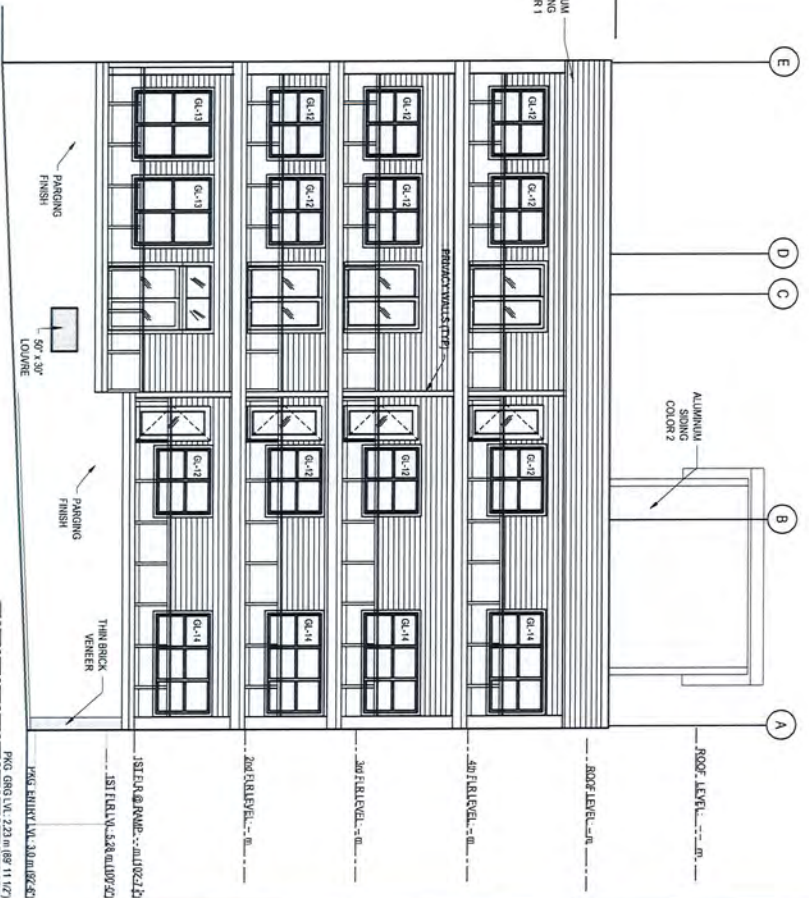
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A3.0



1 NORTH ELEVATION
 AS1 SCALE 1/8" = 1'-0"



2 NORTH ELEVATION
 AS1 SCALE 1/8" = 1'-0"

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Pownal Water St Apartments
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North & South
 Elevations

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A3.1



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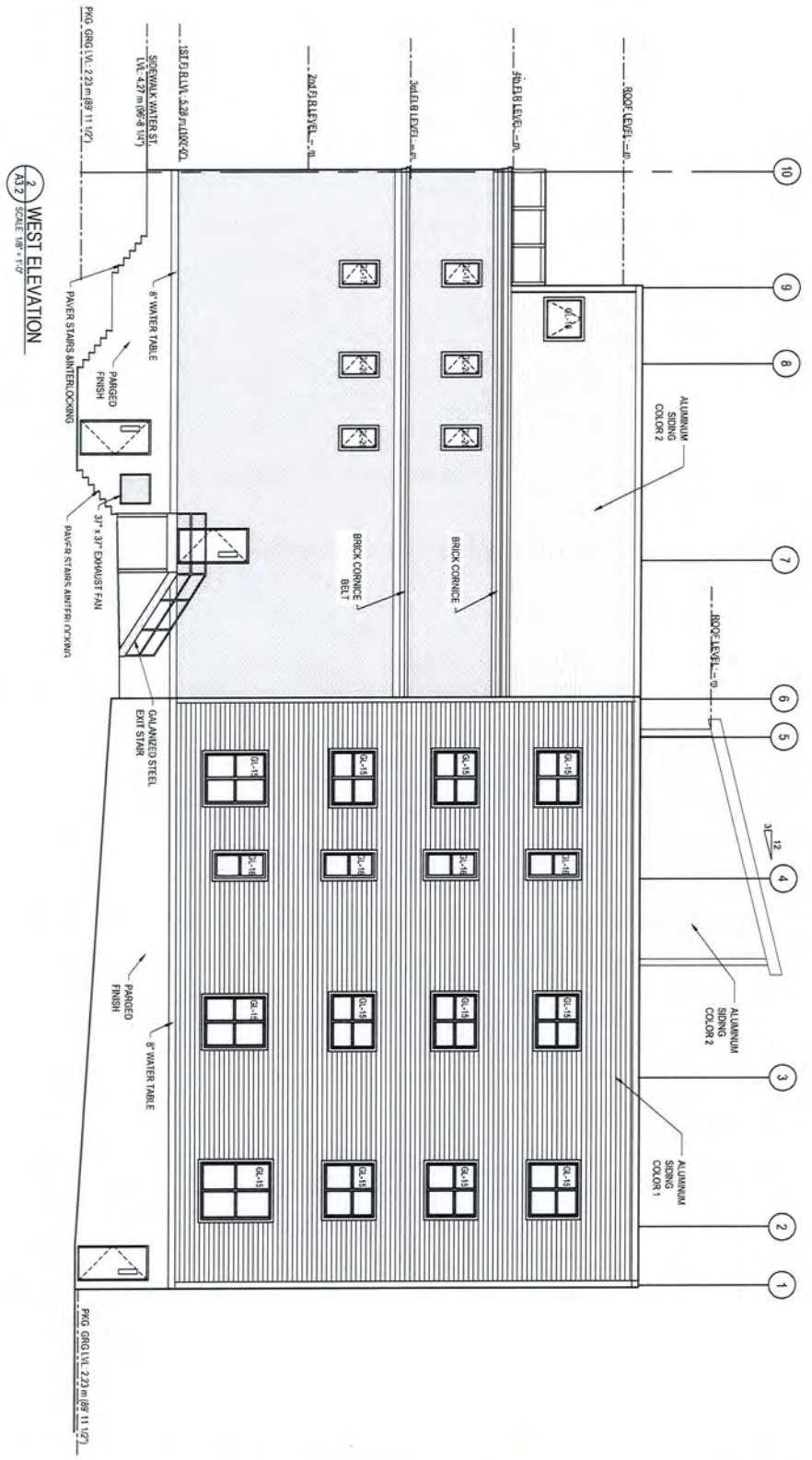
Pownal Water St Apartments

West Elevation

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A3.2



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