



**DESIGN REVIEW BOARD AGENDA
NOTICE OF MEETING**

*Monday, November 18, 2019 at 12:00 p.m.
Parkdale Room, 2nd Floor, City Hall (199 Queen Street)*

- 1. Call to Order**
- 2. Declaration of Conflicts**
- 3. Approval of Agenda** – Approval of Agenda for Monday, November 18, 2019
- 4. Adoption of Minutes** - Minutes of Design Review Meeting on Thursday, October 10, 2019
- 5. Business arising from Minutes**
- 6. Report:**
 - a. 265 King Street (PID #337592) Robert
Request to construct a fourplex in the Downtown Neighbourhood (DN) Zone.
 - b. Pioneer Ave (PID #442400) Robert
Request to construct a 32-unit apartment as an affordable housing development for seniors located in the Medium Density Residential (R-3) Zone.
 - c. 184 Beach Grove Road (PID #1000744) Robert
Request for an affordable housing development consisting of a group home and three (3) apartment units for affordable housing in the Institutional (I) Zone.
- 7. Introduction of New Business**
- 8. Adjournment**

**PLANNING AND HERITAGE COMMITTEE – DESIGN REVIEW BOARD MINUTES
THURSDAY, OCTOBER 10, 2019 12:00PM
SHERWOOD ROOM, CITY HALL**

<u>Included</u>	Councillor Greg Rivard, Chair	Alex Forbes, PHM
	Deputy Mayor Jason Coady, Vice-Chair	Todd Saunders, HO
	Councillor Julie McCabe	Laurel Palmer Thompson, PII
	Greg Munn, RM	Greg Morrison, PII
	Kenneth McInnis, RM	Ellen Ganga, IA/AA
	Kris Fournier, RM	
<u>Regrets</u>	Mayor Philip Brown	Sharon Larter, RM
	Councillor Bob Doiron	Brian Gillis, RM

1. Call to Order

Councillor Greg Rivard called the meeting to order at 12:01 pm.

2. Declaration of Conflicts

Councillor Greg Rivard asked if there are any other conflicts and there being none, moved to the approval of the agenda.

3. Approval of Agenda

Moved by Councillor Kenneth McInnis, RM, and seconded by Councillor Jason Coady, that the agenda for Thursday, October 10, 2019, be approved.

CARRIED

4. Adoption of Minutes

Moved by Councillor Kenneth McInnis, RM, and seconded by Councillor Jason Coady, that the minutes of the Monday, September 23, 2019 meeting, be approved.

CARRIED

5. Business arising from Minutes

There was no business arising from the minutes.

6. 60-66 Dorchester Street (PID #s 336826 & 336818)

This application was before the Design Review board on September 23, 2019 to confirm and get approval from the Board that the construction drawings are generally in keeping with the approved design review submission. The property is located at 60-66 Dorchester Street (PID #'s 336826 & 336818). Laurel Palmer Thompson, PII, presented the application.

Ms. Thompson indicated that this application was before the Design Review Board in 2014. At that time, the design reviewer recommended for the proposal with a request for a few details to be clarified prior to building permit. The Heritage Board which was the Board overseeing the process in 2014 approved the application at that time.

On September 23, 2019, the board requested that application be deferred until working drawings be produced and presented to the board. At this meeting, staff presented the drawings that showed the original design approved by the board and drawings of the proposed building. Silva Stojak, architect, also provided additional details with regards to the proposed changes to the design.

Councillor Greg Rivard asked for comments or questions; there being none, the following resolution was put forward:

Moved by Greg Munn, RM, and seconded by Kris Fournier, RM, that the revised proposal for the three storey, four-unit townhouse at 60-66 Dorchester Street (PID #s 336826 & 336818), be approved.

**CARRIED
(5-0)**

7. 7-9 Pownal Street (PID #1105451)

This is a request to review renderings of the proposed modifications to the approval granted by the Design Review Board on March 1, 2018. Since then, the property has been sold and the new owners are recommending minor changes to approved design. Greg Morrison, Planner II, presented the application. See attached report. David Lopes, architect, was at the meeting to provide further details.

Mr. Lopes presented drawings that showed the original design, design approved in 2018 and the proposed design and details of the proposed changes (details attached to the report).

The board had some questions on the proposed changes and agreed to the following changes:

- The canvas on the ground floor of the East elevation will be reduced so that it does not cover the cornice above.
- The windows on the East elevation will be increased to reflect the previously approved plan.
- The cornice on the corner above the third floor of the North and East elevations will be revised to be more prominent.
- The cornice above the fourth floor on the South elevation will be reworked to be more prominent.

Councillor Greg Rivard asked for comments or questions; there being none, the following resolution was put forward:

Moved by Kenneth McInnis, RM, and seconded by Deputy Mayor Jason Coady, that the revised proposal to the property at 7-9 Pownal Street (PID #1105451), be approved.

**CARRIED
(5-0)**


8. New Business

There were no new businesses discussed.

9. Adjournment

Moved by Councillor Julie McCabe and seconded by Deputy Mayor Jason Coady, that the meeting be adjourned. The meeting was adjourned at 12:43 p.m.

Councillor Greg Rivard, Chair

TITLE: <p style="text-align: center;">DESIGN REVIEW FILE: DESIGN-2019-18-NOVEMBER-a 265 KING STREET OWNER: STEVEN LARTER</p>		 CHARLOTTETOWN
MEETING DATE: November 18, 2019		Page 1 of 2
DEPARTMENT: Planning & Heritage	ATTACHMENTS: A. Design Review Submission (October 16, 2019) B. External Design Reviewer Comments (November 1, 2019) C. Revised Design Submission (November 14, 2019) D. External Design Reviewer Final Comments (November 15, 2019)	
SITE INFORMATION: Ward No: 1 Existing Land Use: Vacant Property Official Plan: Downtown Neighbourhood Zoning: Downtown Neighbourhood (DN) Zone		

RECOMMENDATION:

The Planning & Heritage Department encourages the Design Review Board to *accept* the proposed site and building façade plans for the proposed four (4) unit apartment dwelling to be constructed at 263 King Street (PID #337592).

BACKGROUND:

Request

The owner/applicant, Steven Larter, has submitted a design for the proposed fourplex to be constructed at 263 King Street (PID #337592). The request is to approve the design proposal.

By-law Requirement

As per Section 3.14.1 of the Zoning and Development By-law, any new construction of a Multi-unit residential building is required to undergo the Design Review process. This is to ensure that the proposed development maintains good architectural principles which is compatible and compliments existing buildings on surrounding properties.

ANALYSIS:

On October 16, 2019, the applicant submitted façade drawings, rendering of the proposed apartment building and a site plan (Attachment A). Staff immediately sent the proposed façade

designs and site plan to an independent design reviewer, Aaron Stavert, a licensed Architect to perform a design analysis.

On November 1, 2019, Mr. Stavert submitted a design analysis (Attachment B), which indicated the following main points:

- 1) *The site required more landscaped area, the minimum requirement is 10% of the total Lot Area;*
- 2) *The porch feature for both ground level units need to be set further back from the property line and would benefit from providing direct access to the streetscape;*
- 3) *The wood trim is required to be wrapped around the sides of the proposed building due to increased setbacks; and*
- 4) *The front façade would benefit more from a pitched roof design being more traditional in style.*

Staff forwarded these review comments to the applicant requesting the proposed changes relating to the façade changes and the building patios/balconies. The applicant met with Mr. Stavert to discuss the proposed changes and provide some direction on meeting the design standards.

The owner had their designer incorporate the changes which addressed the main design issues identified by the design reviewer (Attachment C). The proposed building's front now retains a more traditional design with a good connection to the streetscape.

CONCLUSION:

Staff is recommending that the Design Review Board *accept* the proposed building façade designs for the fourplex building located at 265 King Street based on the comments received by the external design reviewer.

PRESENTER:



Robert Zilke, MCIP
Planner II

MANAGER:



Alex Forbes, MCIP, MBA
Manager of Planning & Heritage

Attachment A - 1



**DALLAIRE
DESIGN**

69 FALCON DRIVE, CORNWALL, PE, COA 1H4
(902) 440-2872, gaezan.dallaire@hotmail.com

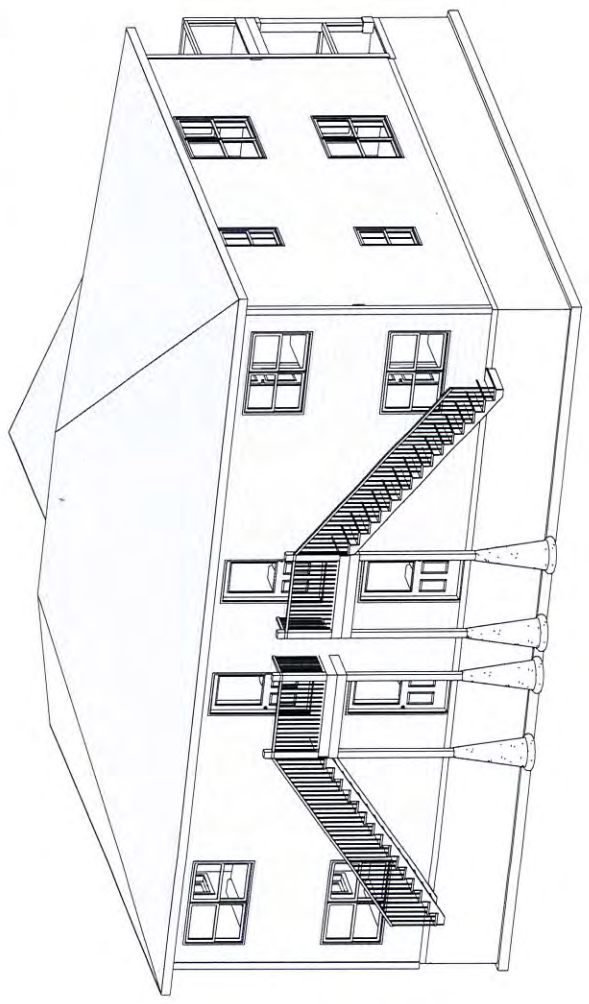
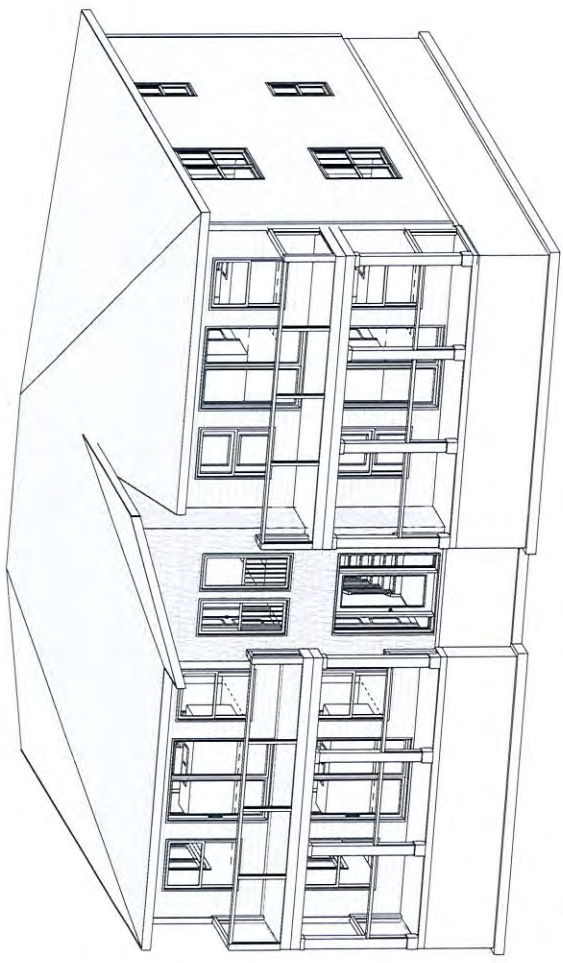
LARTER
4 UNIT
SEPT 2019
3D VIEWS
A-O

PROJECT #: 2019-355 REV. 02

GENERAL NOTE:
THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA.

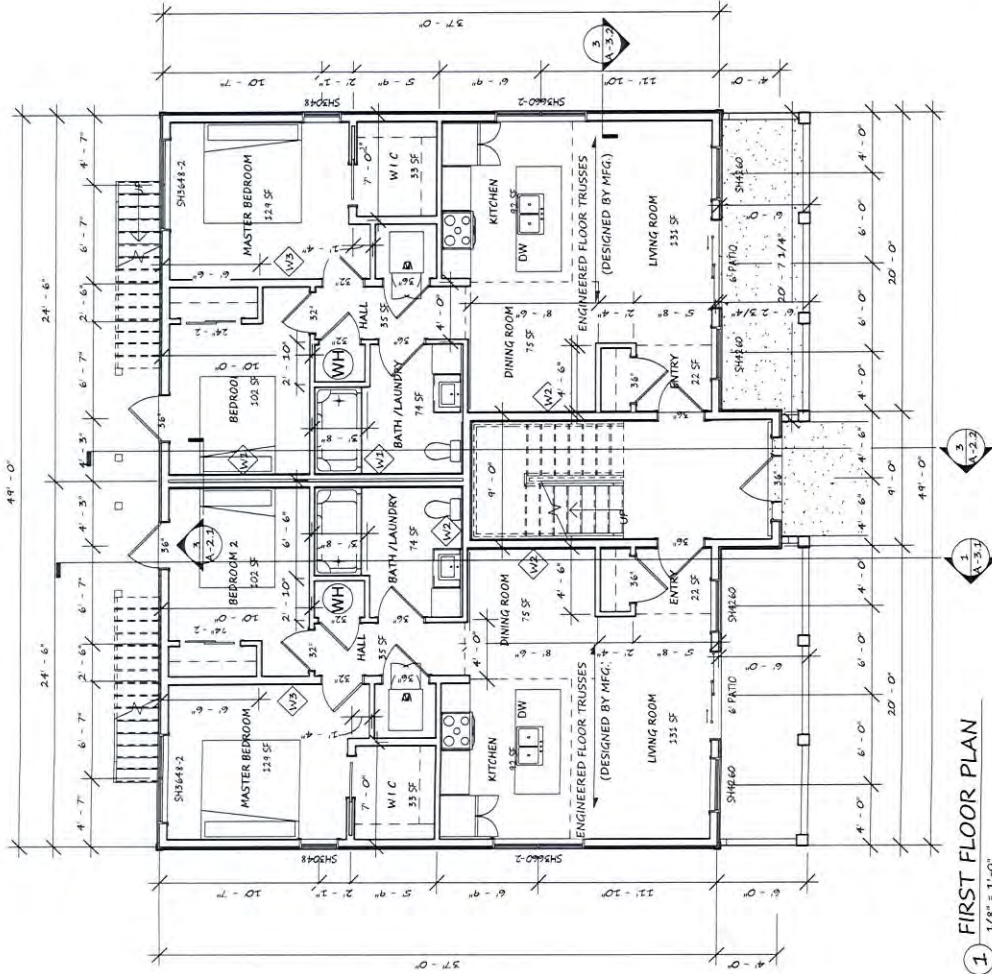
THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED.

BUILDING AREA	
NAME	AREA
FIRST FLOOR	1,882 SF
SECOND FLOOR	2,013 SF



Attachment A - 2

TYP. PARTITION NOTE:
 INSTALL ELECT. OXES,
 RECEPTACLES, ETC. IN
 SEPARATE STUD SPACES,
 NOT IN BACK-TO-BACK
 SPACES



1 FIRST FLOOR PLAN
 3/8" = 1'-0"

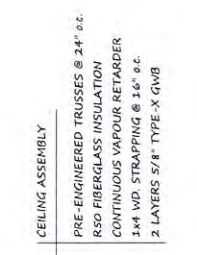
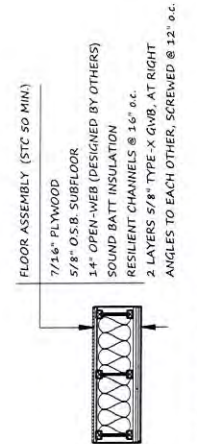
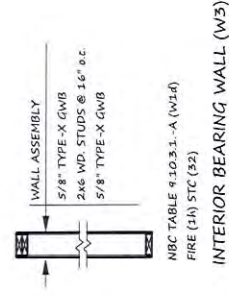
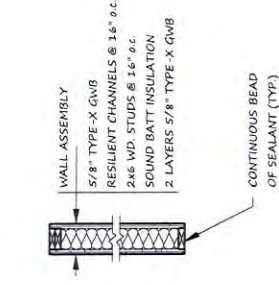
**DALLAIRE
 DESIGN**
 6-9 FALCON DRIVE, CORNWALL, PE, COA 1H4
 (402) 440-2872 gdstan_dallaire@kwtmail.com

LARTER
 4 UNIT
 SEPT 2019
FIRST FLOOR PLAN
A-1.2
 PROJECT #: 2019-355 REV. 02

GENERAL NOTE:
 THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA.

THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED.

BUILDING AREA	
NAME	AREA
FIRST FLOOR	1882 SF
SECOND FLOOR	2013 SF



Attachment A - 3

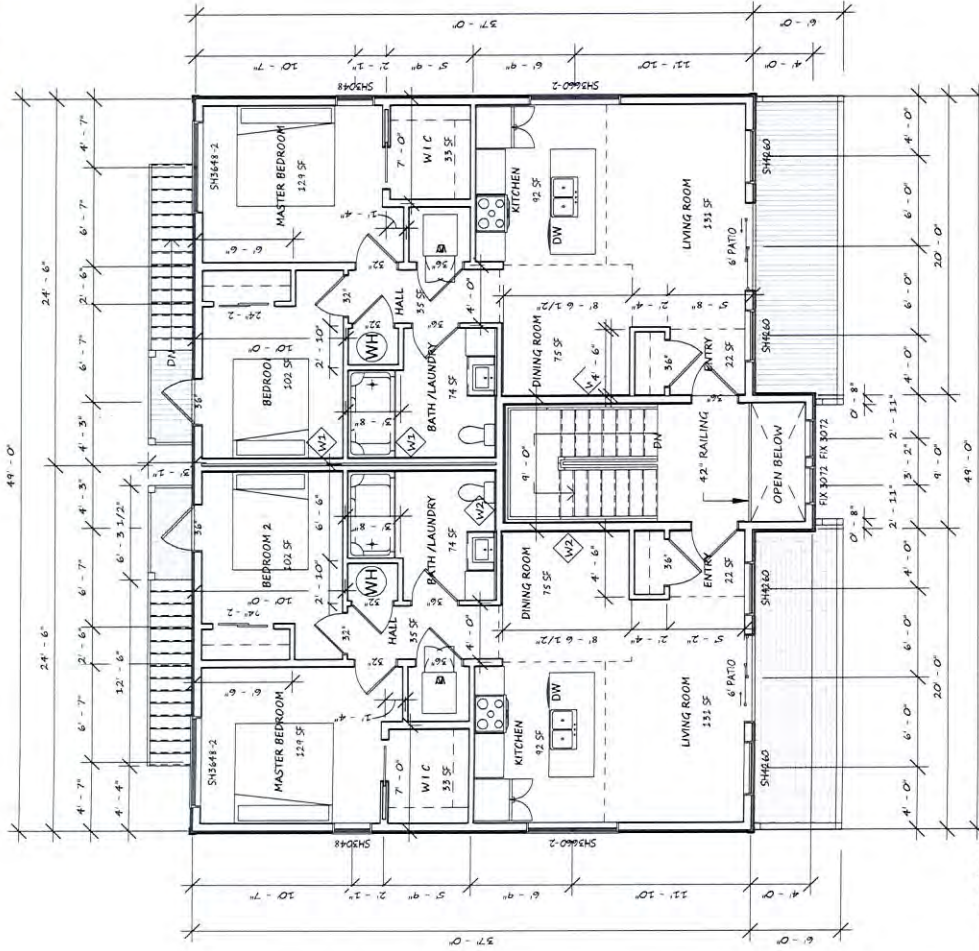
TYP. PARTITION NOTE
 INSTALL ELECT. OXES, RECEPTACLES, ETC. IN SEPARATE STUD SPACES, NOT IN BACK-TO-BACK SPACES

DALLAIRE DESIGN
 69 FALCON DRIVE, CORNWALL, PE. COA 1H4
 (902) 940-2872. gaston.dallaire@dallairekvtmail.com

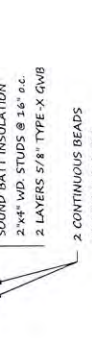
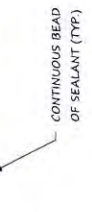
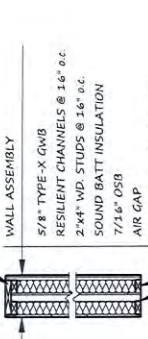
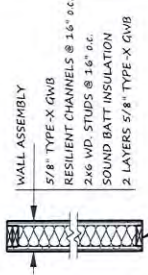
LARTER
 4 UNIT
 SEPT 2019

SECOND FLOOR PLAN
A-1.3

PROJECT #: 2019-3555 REV. 02



1 SECOND FLOOR PLAN
 1/8" = 1'-0"



WALL ASSEMBLY
 5/8" TYPE-X GWB
 RESILIENT CHANNELS @ 16" o.c.
 2x6 WD. STUDS @ 16" o.c.
 SOUND BATT INSULATION
 2 LAYERS 5/8" TYPE-X GWB

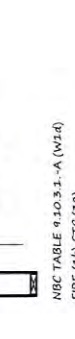
WALL ASSEMBLY
 5/8" TYPE-X GWB
 RESILIENT CHANNELS @ 16" o.c.
 2x4" WD. STUDS @ 16" o.c.
 SOUND BATT INSULATION
 AIR GAP
 7/16" OSB
 SOUND BATT INSULATION
 2x4" WD. STUDS @ 16" o.c.
 2 LAYERS 5/8" TYPE-X GWB

CONTINUOUS BEAD OF SEALANT (TYP)

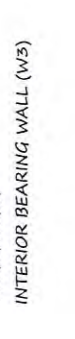
CONTINUOUS BEADS OF SEALANT (TYP)

NBC TABLE 9.10.3.1.-A (V5R)
 FIRE (45min) STC (51)
TYP. STAIR WALL (W2)

NBC TABLE 9.10.3.1.-A (W15A)
 FIRE (1 1/2) STC (66)
TYP. DEMISING WALL (W1)



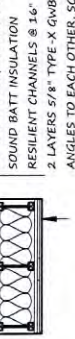
NBC TABLE 9.10.3.1.-A (W14)
 FIRE (1H) STC (32)
INTERIOR BEARING WALL (W3)



FLOOR ASSEMBLY (STC 50 MIN)
 7/16" PLYWOOD
 5/8" O.S.B. SUBFLOOR
 1" OPEN-WEB (DESIGNED BY OTHERS)
 SOUND BATT INSULATION
 RESILIENT CHANNELS @ 16" o.c.
 2 LAYERS 5/8" TYPE-X GWB AT RIGHT ANGLES TO EACH OTHER, SCREWED @ 12" o.c.

FLOOR ASSEMBLY (STC 50 MIN)
 7/16" PLYWOOD
 5/8" O.S.B. SUBFLOOR
 1" OPEN-WEB (DESIGNED BY OTHERS)
 SOUND BATT INSULATION
 RESILIENT CHANNELS @ 16" o.c.
 2 LAYERS 5/8" TYPE-X GWB AT RIGHT ANGLES TO EACH OTHER, SCREWED @ 12" o.c.

NBC TABLE 9.10.3.1.-B (F4C)
 FIRE (1H) STC (46)



CEILING ASSEMBLY
 PRE-ENGINEERED TRUSSES @ 24" o.c.
 R50 FIBERGLASS INSULATION
 CONTINUOUS VAPOUR RETARDER
 1x4 WD. STRAPPING @ 16" o.c.
 2 LAYERS 5/8" TYPE-X GWB

CEILING ASSEMBLY
 PRE-ENGINEERED TRUSSES @ 24" o.c.
 R50 FIBERGLASS INSULATION
 CONTINUOUS VAPOUR RETARDER
 1x4 WD. STRAPPING @ 16" o.c.
 2 LAYERS 5/8" TYPE-X GWB

TYP. FLOOR ASSEMBLY

TYP. ATTIC CEILING ASSEMBLY

Attachment A - 4

64 FALCON DRIVE, CORNWALL, PE, COA 1H4
(902) 940-2872 gaxtan_dallaire@hotmail.com

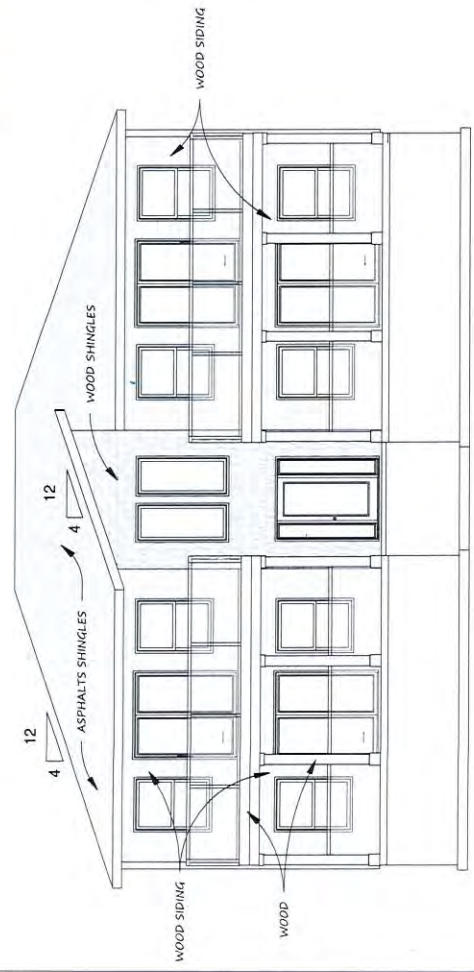
LARTER
4 UNIT
SEPT 2019

ELEVATIONS
A-2.1

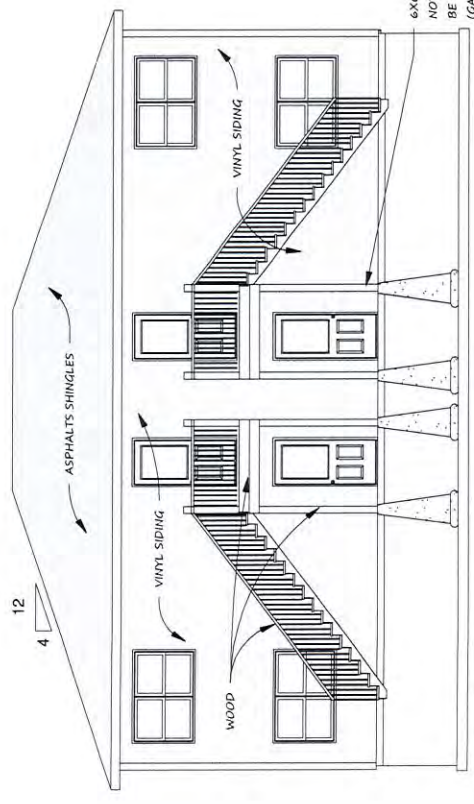
PROJECT #: 2019-355 REV. 02

GENERAL NOTE:
THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA

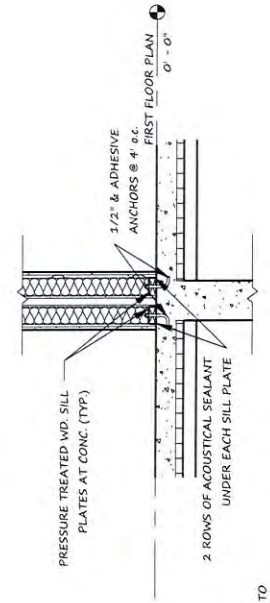
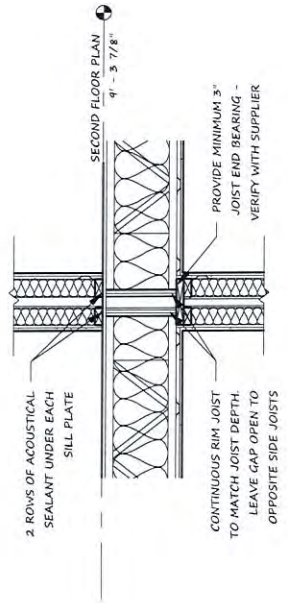
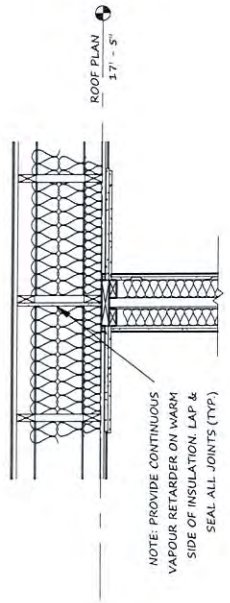
THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED



1. FRONT ELEVATION
1/8" = 1'-0"



2. BACK ELEVATION
1/8" = 1'-0"



3. TYP. DEMISING WALL
1/2" = 1'-0"

6x6 P.T. POST
NOTE: ALL CONNECTIONS TO BE MECHANICAL FASTENERS (GAV. STEEL) (BEAM TO COLUMNS, COLUMNS TO CONCRETE)

Attachment A - 5



69 FALCON DRIVE, CORNWALL, PE, COA J1H4
 (402) 440-2872. g.anton.dallaire@dallaire.com

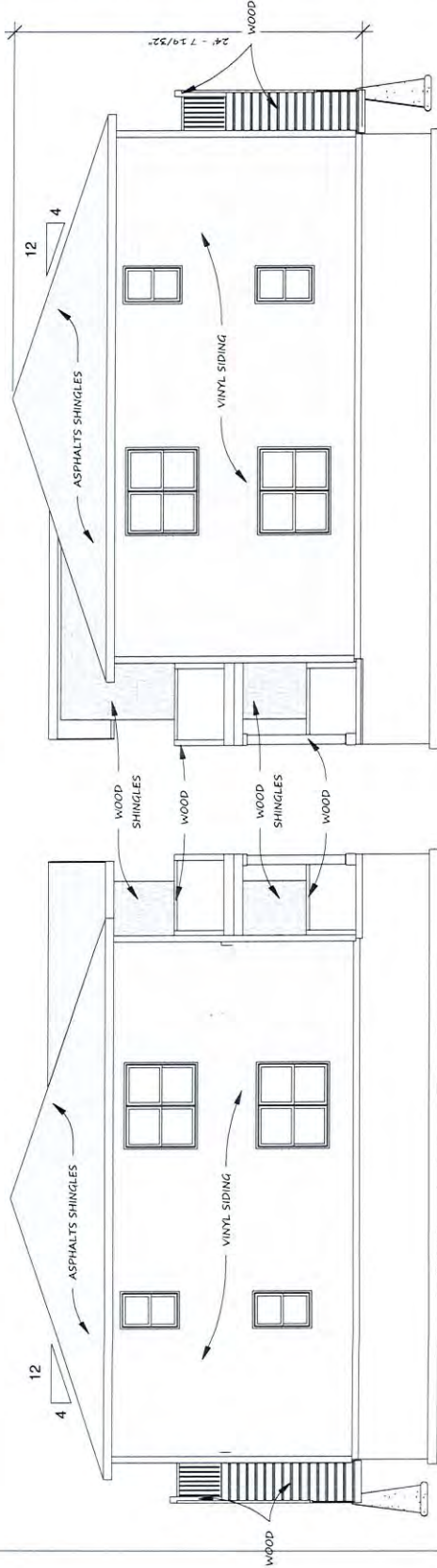
LARTER
 4 UNIT
 SEPT 2019

ELEVATIONS
 A-2.2

PROJECT #: 2019-355 REV. 02

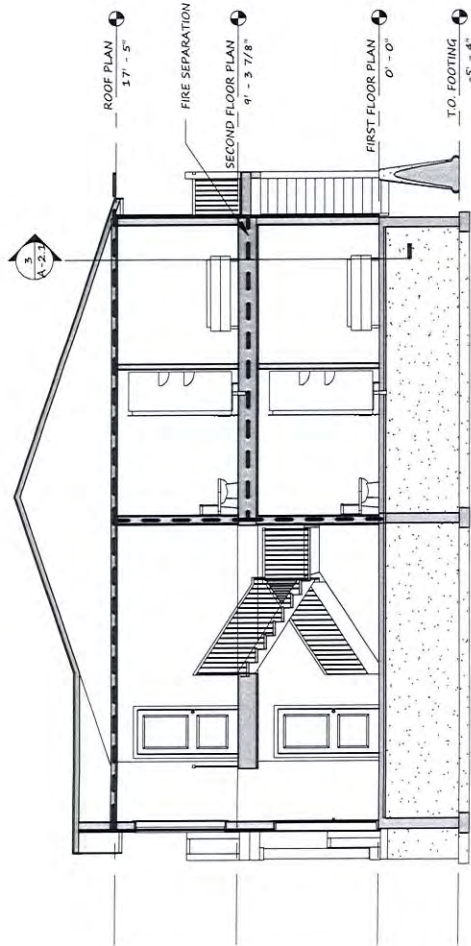
GENERAL NOTE:
 THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA

THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED



1 LEFT ELEVATION
 1/8" = 1'-0"

2 RIGHT ELEVATION
 1/8" = 1'-0"



3 BUILDING SECTION
 1/8" = 1'-0"

Attachment A - 6



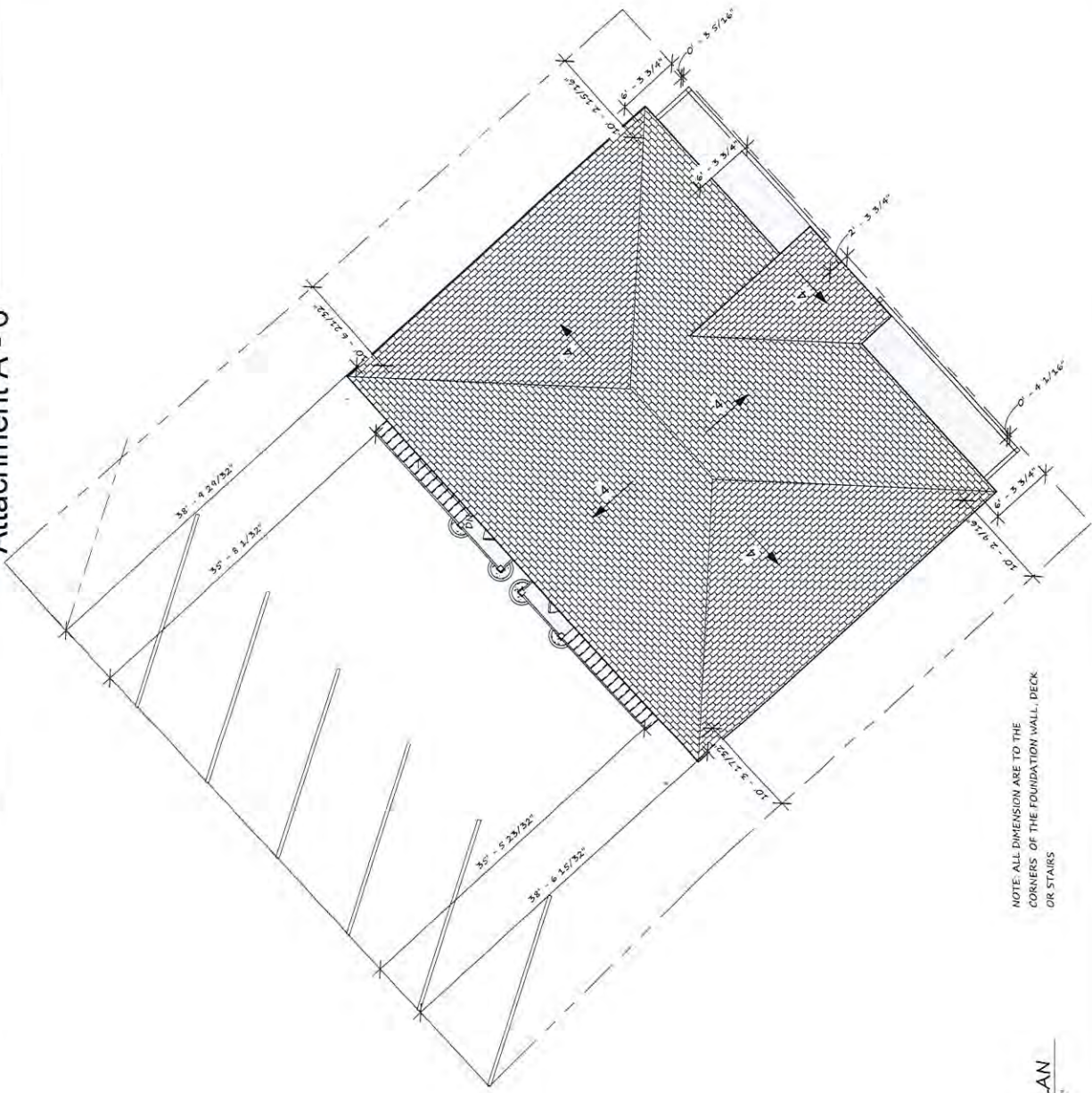
64 FALCON DRIVE, CORNWALL, PE, C0A 1H4
(902) 940-2872 gaston.dallaire@hotmail.com

LARTER
4 UNIT
SEPT 2019
SITE PLAN
C-1.1

PROJECT #: 2019-355 REV 02

GENERAL NOTE:
THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA.

THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED.



NOTE: ALL DIMENSION ARE TO THE CORNERS OF THE FOUNDATION WALL, DECK OR STAIRS

1 SITE PLAN
3/32" = 1'-0"

Attachment A - 7



69 FALCON DRIVE, CORNWALL, PE, COA 1H4
(902) 940-2872, gaelan.dallaire@hotmail.com

LARTER

4 UNIT
SEPT 2019

IMAGE

P1

PROJECT #: 2019-355

REV. 02



Attachment A - 8



DD
DALLAIRE
DESIGN

64 FALCON DRIVE, CORNWALL, PE, C0A 1H4
(902) 940-2872 gaetan.dallaire@kwtmail.com

LARTER
4 UNIT
SEPT 2014
IMAGES
P2

PROJECT #: 2014-355 REV. 02

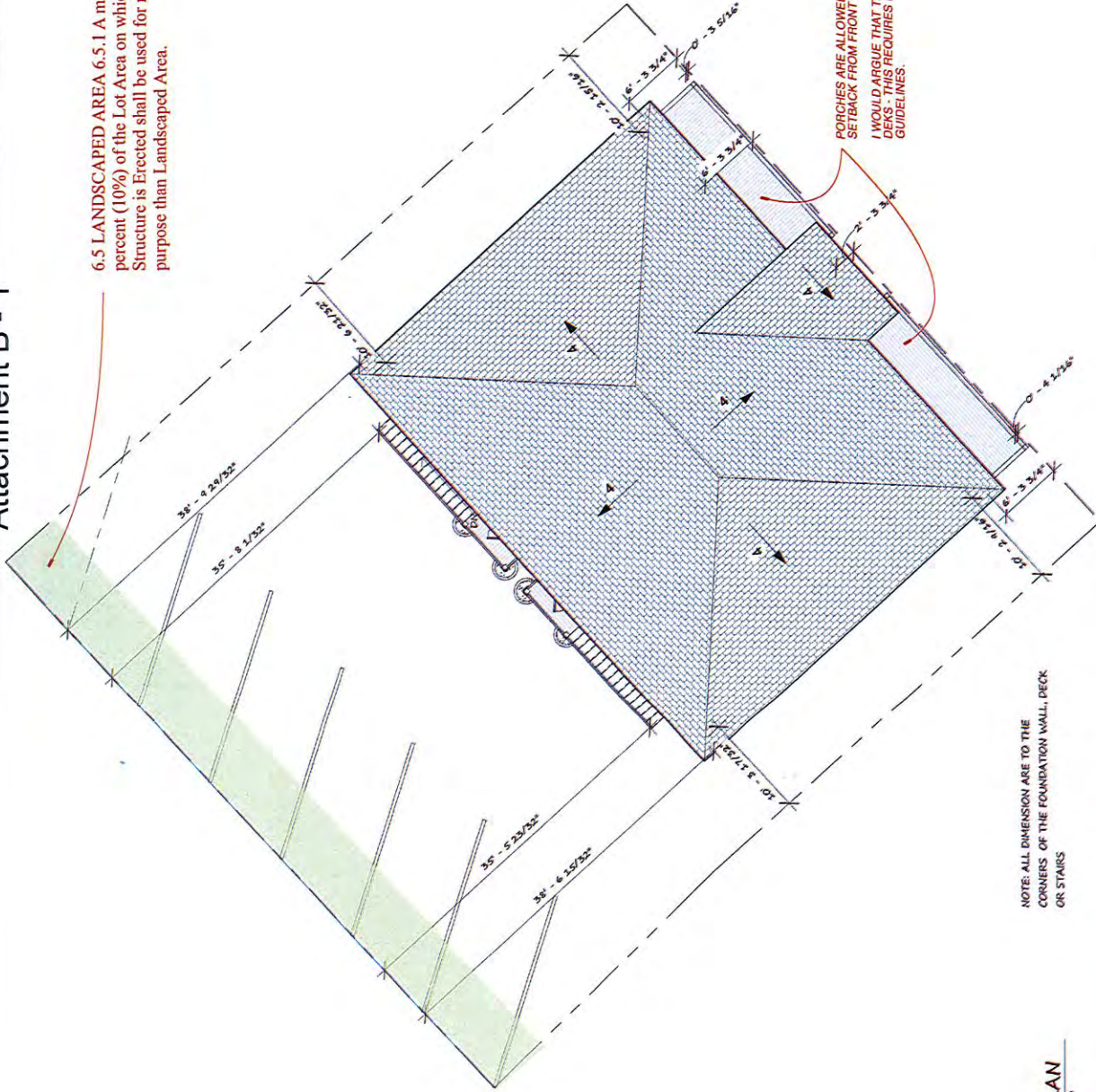
Attachment B - 1

D DALLAIRE DESIGN
 64 FALCON DRIVE, CORNWALL, PE, C0A 1H4
 (902) 940-3872 gtden_dallaire@hotmail.com

LARTER
 4 UNIT
 SEPT 2019
 SITE PLAN
 C-1.1
 PROJECT #: 2019-355 REV: 02

GENERAL NOTE:
 THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA
 THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED

6.5 LANDSCAPED AREA 6.5.1 A minimum of ten percent (10%) of the Lot Area on which a Building or Structure is Erected shall be used for no other purpose than Landscaped Area.



NOTE: ALL DIMENSION ARE TO THE CORNERS OF THE FOUNDATION WALL, DECK OR STAIRS

Attachment B - 2



64 FALCON DRIVE, CORNWALL, PE, C0A 1H4
(902) 940-2872 gaetan.dallaire@dallaire.com

LARTER
4 UNIT
SEPT 2014

FIRST FLOOR PLAN
A-1.2

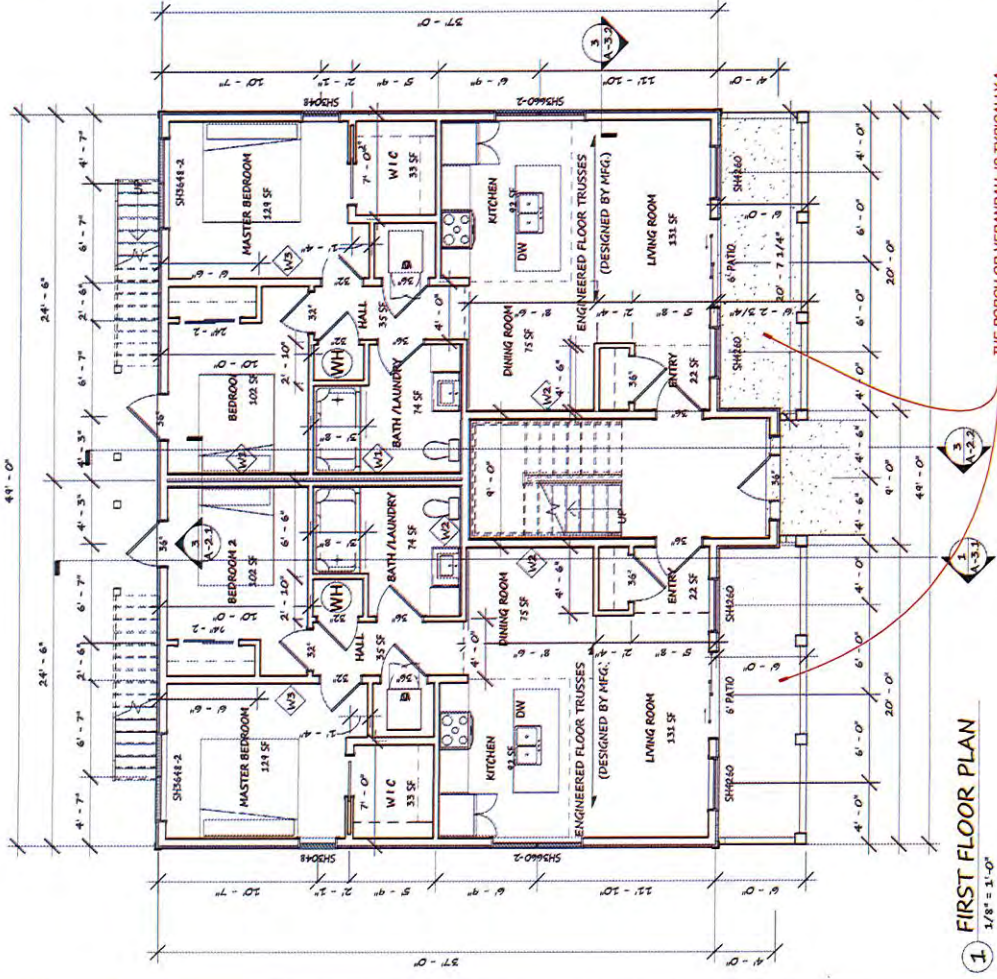
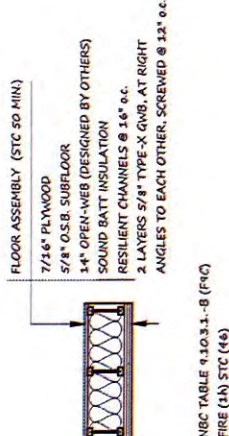
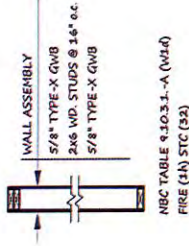
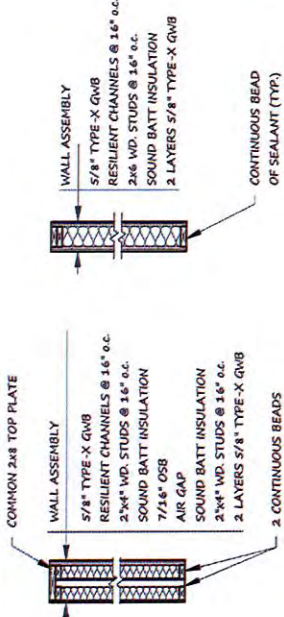
PROJECT #: 2014-355 REV: 02

GENERAL NOTE:
THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA.

THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED.

BUILDING AREA	
NAME	AREA
FIRST FLOOR	1 882 SF
SECOND FLOOR	2 013 SF

TYP. PARTITION NOTE:
INSTALL ELECT. OWES, RECEPTACLES, ETC. IN SEPARATE STUD SPACES, NOT IN BACK-TO-BACK SPACES



THE PORCH OR VERANDAH IS TYPICALLY A RISE IN GRADE. IT IS UNCOMMON TO HAVE 1ST FLOOR AT GRADE ALTHOUGH NOT IN THE WATERFRONT ZONE. GIVEN THE PROXIMITY TO THE WATER, IT MAY BE PRUDENT TO LOOK AT RAISING 1ST FLOOR LEVEL TO CGVD OF 3.78M - SEE ZONING BY-LAW.

TYP. ATTIC CEILING ASSEMBLY

TYP. FLOOR ASSEMBLY

Attachment B - 3

DALLAIRE DESIGN
 49 FALCON DRIVE, CORNWALL, PE, COA S1H4
 (902) 940-2872 gstein.dallaire@shaw.ca

LARTER
 4 UNIT
 SEPT 2019

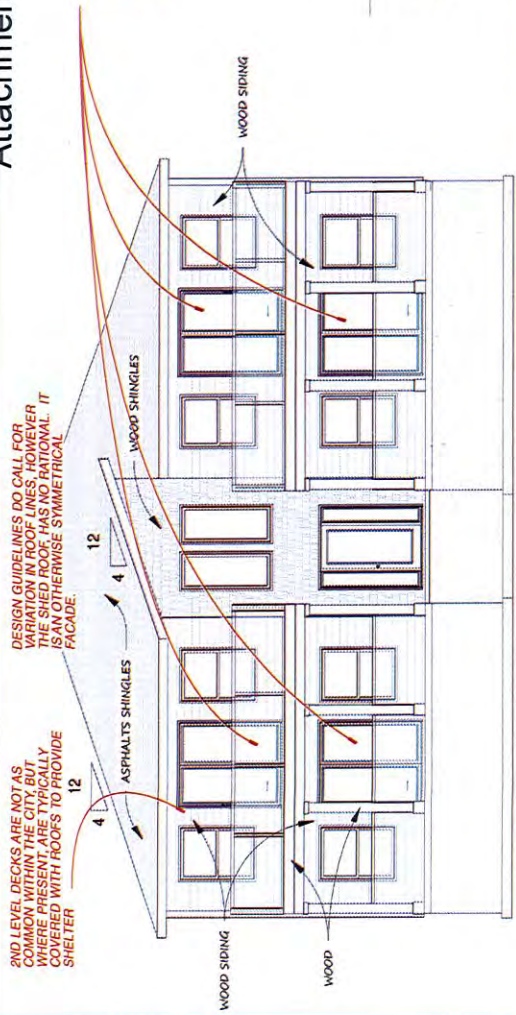
ELEVATIONS
A-2.1

PROJECT #: 2019-355 REV: 02

GENERAL NOTE:
 THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA

THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED

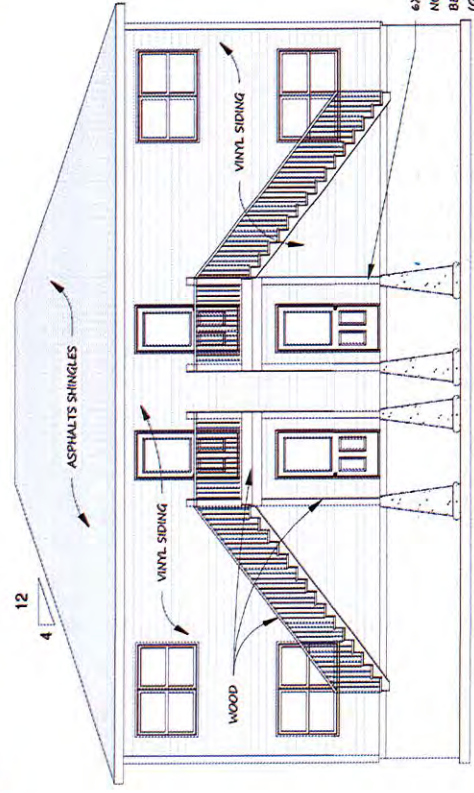
7.5 WINDOWS
7.5.4 Sliding (patio-style) doors shall not be permitted on the Front or Flankage side of the Building.



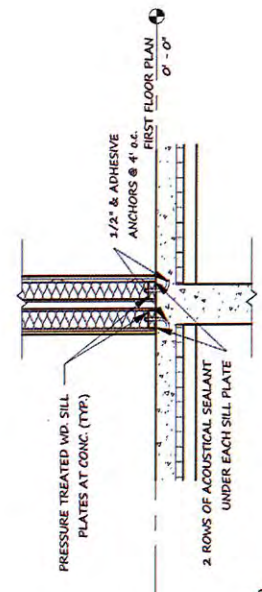
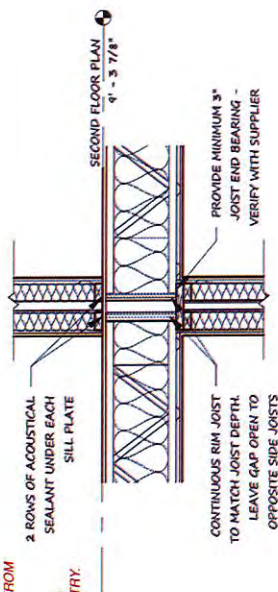
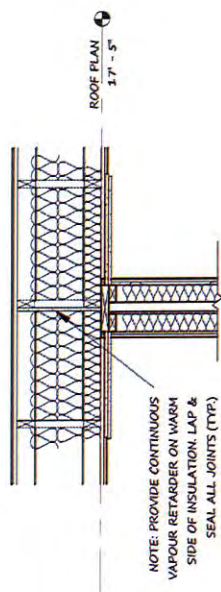
THE CURRENT DESIGN OF THE FRONT PORCHES ALLOWS FOR NO DIRECT ACCESS, EXCEPT FROM WITHIN THE UNITS.
THIS PRESENTS VERY AWKWARDLY TO THE STREETSCAPE
THE USE OF GLASS RAILINGS ADDS NO VALUE TO THE DESIGN, DOES NOT PROMOTE BETTER SIGHTLINES ON GROUND FLOOR AND FEELS OUT OF PLACE WITH A RESIDENTIAL PORCH / ENTRY.
THE FACADE USES A CONFUSED COMBINATION OF SINGLE HUNG WINDOWS, CASEMENTS, SLIDING PATIO DOORS ARE NOT ALLOWED IN THE STREETFRONT. (SEE BYLAWS).

1 $1/8" = 1'-0"$
FRONT ELEVATION

ALL WINDOWS TO BE WOOD - NEW CONSTRUCTION - SECTION 7.5.1 OF INTEGRATED DESIGN MANUAL.



2 $1/8" = 1'-0"$
BACK ELEVATION



3 $1/2" = 1'-0"$
TYP. DEMISING WALL

6x6 P.T. POST
 NOTE: ALL CONNECTIONS TO BE MECHANICAL FASTENERS (GAV. STEEL) (BEAM TO COLUMNS, COLUMNS TO CONCRETE)

Attachment B - 4

GIVEN THE "TRADITIONAL" STYLE OF THE BUILDING I WOULD INTERPRET THE DESIGN GUIDELINES THAT ALL WINDOWS AND DOORS SHOULD HAVE A HIGHER LEVEL OF DETAILING IN THE EXTERIOR CASINGS. I WOULD ALSO APPLY THIS TO FASCIA, EAVES AND FREEZEBOARDS. - ALSO, VERIFY SOFFIT DETAILING ON SIDES OF BUILDING - EXPOSING BUILDING FACE AND PROXIMITY TO PROPERTY LINES.

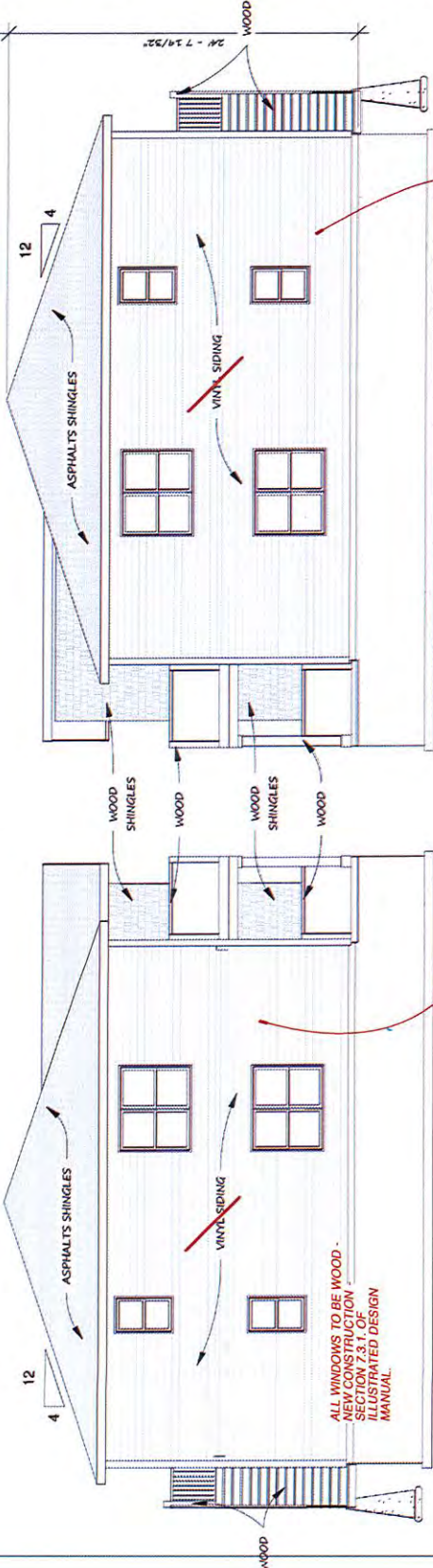
DALLAIRE DESIGN
 64 FALCON DRIVE, CORNWALL, PE, COA 1H4
 (102) 940-3872 g.dallaire@dallaire.com

LARTER
 4 UNIT
 SEPT 2014
ELEVATIONS
A-2.2

PROJECT #: 2014-355
 REV. 02

GENERAL NOTE:
 THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA

THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED

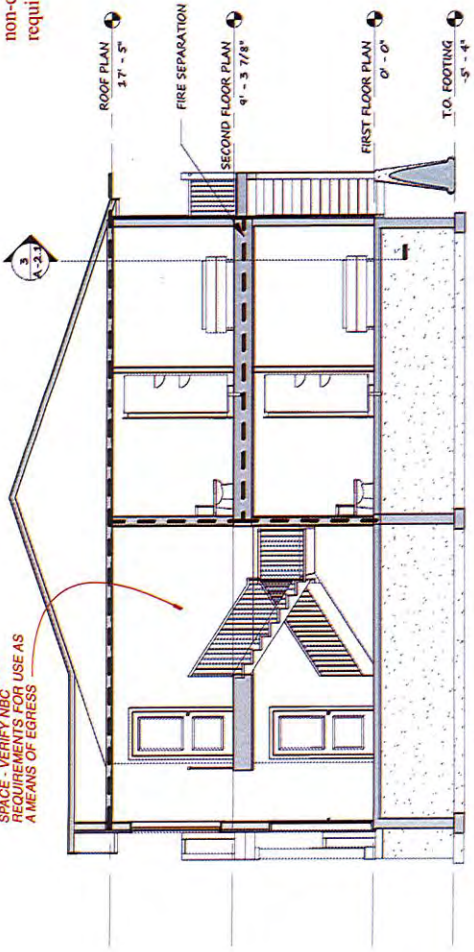


1 LEFT ELEVATION
 1/8" = 1'-0"

2 RIGHT ELEVATION
 1/8" = 1'-0"

7.4 BUILDINGS MATERIALS 7.4.1 The Front and Flankage facades shall carry a consistent type and quality of materials. Where a Side Yard Setback is greater than 3 m (9.8 ft), the Side facade shall also carry a consistent material. - Also verify that cladding does not need to be non-combustible due to exposing building face requirements and proximity to Property Line.

CONSIDERED PROTECTED FLOOR SPACE - VERIFY NBC REQUIREMENTS FOR USE AS A MEANS OF EGRESS



3 BUILDING SECTION
 1/8" = 1'-0"

GENERAL COMMENTS:

THE OVERALL TYPOLOGY IS ONE THAT IS COMMON IN SUB-URBAN DEVELOPMENT. IT PRESENTS A VERY WIDE FACADE WITH ENTRY ONLY PROVIDED INTERNALLY...
 THE SLAB ON GRADE DESIGN OF THE BUILDING FEELS OUT OF PLACE. MOST BUILDINGS IN THE DOWNTOWN ARE ELEVATED WITH FRONT PORCHES OR AT LEAST STEPS UP TO THE BUILDING. THIS IS A SIGNIFICANT ELEMENT IN THE STREETSAPCES. I WOULD RECOMMEND THAT THE ELEVATION OF THE 1ST FLOOR BE REVIEWED. THERE IS LOTS OF ROOM IN VERTICAL BUILDING HEIGHT TO RAISE THE BUILDING. AN ELEVATED BUILDING WILL PROVIDE BETTER VIEWS, AND WILL PROVIDE A GREATER SENSE OF PRIVACY ON THE GROUND FLOOR.

Attachment C - 1



69 FALCON DRIVE, CORNWALL, PE, COA 1H4
(902) 940-2872 garten.dallaire@hotmail.com

LARTER

4 UNIT

SEPT 2014

IMAGE

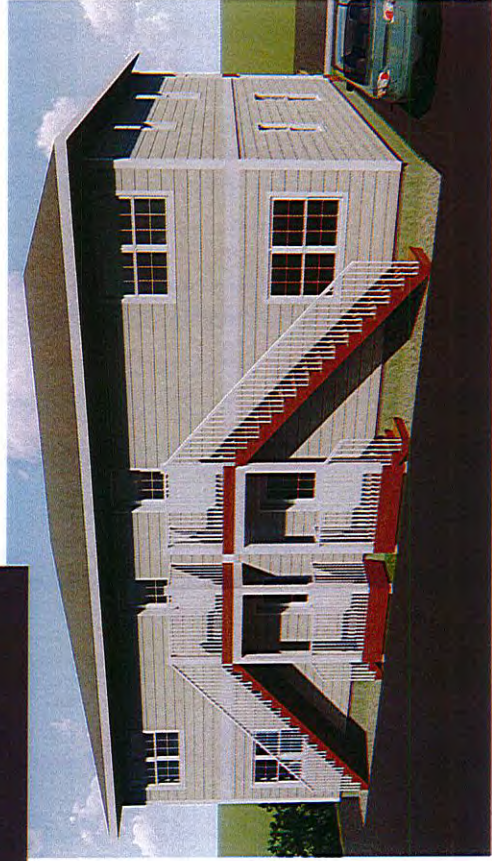
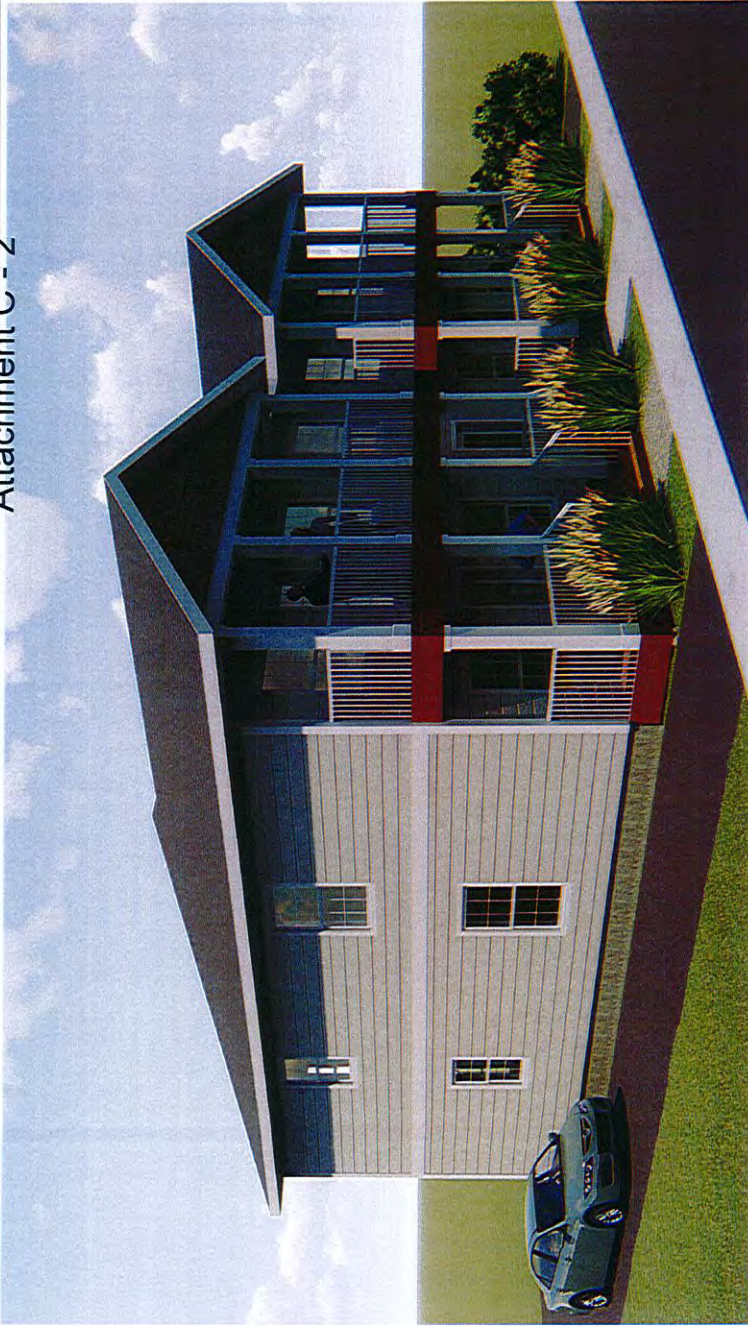
A-O.O

PROJECT #: 2014-355

REV. 03



Attachment C - 2



69 FALCON DRIVE, CORNWALL, PE. COA 11H4
(102) 440-2872 gmeten_dallaire@hotmail.com

LARTER

4 UNIT
SEPT 2019

IMAGES

A-0.1

PROJECT #: 2019-355

REV: 03

Attachment C - 3



**DALLAIRE
DESIGN**

619 FALCON DRIVE, CORNWALL, PE, COA 1H4
(902) 940-2872 g.dallaire@dallairedesign.com

LARTER
4 UNIT
SEPT 2019
3D VIEWS
A-0.2

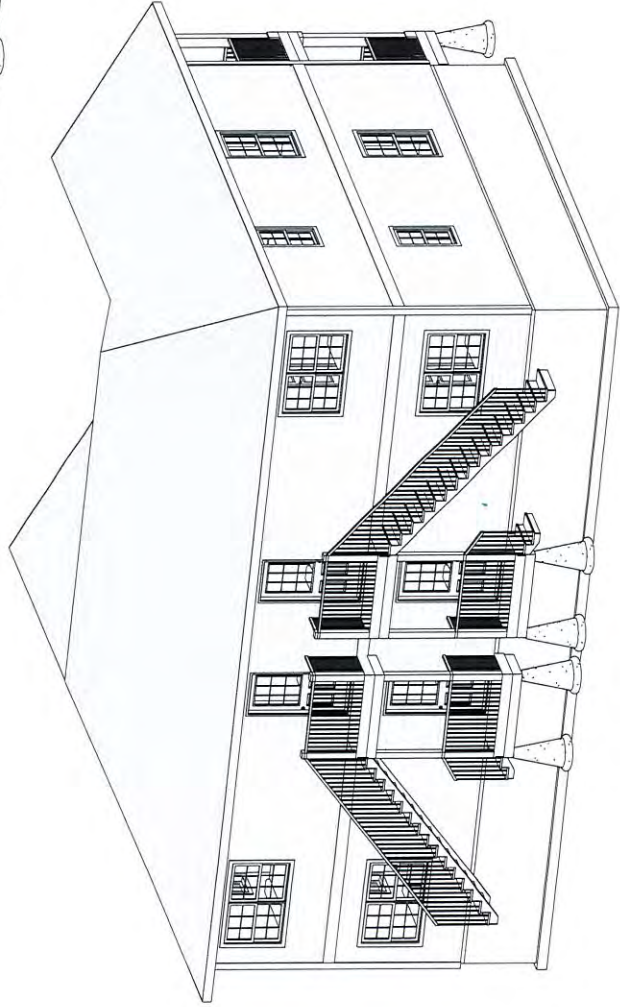
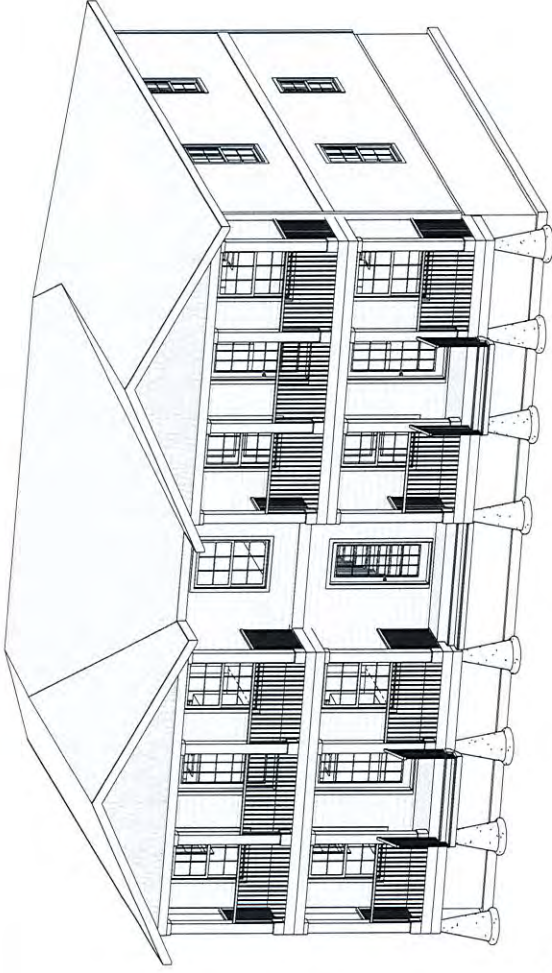
PROJECT #: 2014-355

REV. 03

GENERAL NOTE:

THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA

THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. WITHOUT REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED



BUILDING AREA	
NAME	AREA
FIRST FLOOR	1 794 SF
SECOND FLOOR	1 981 SF

Attachment C - 5

TYP. PARTITION NOTE:
 INSTALL ELECT. OXES,
 RECEPTACLES, ETC., IN
 SEPARATE STUD SPACES,
 NOT IN BACK-TO-BACK
 SPACES

649 FALCON DRIVE, CORNWALL, PE, COA 1H4
 (902) 940-2872 gatten_dallaire@hotmail.com

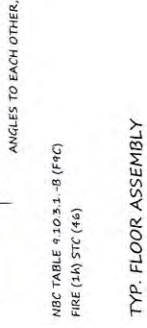
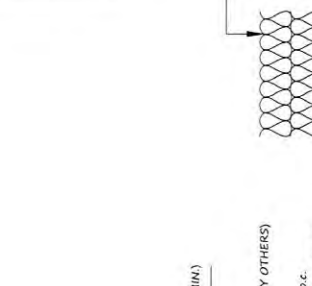
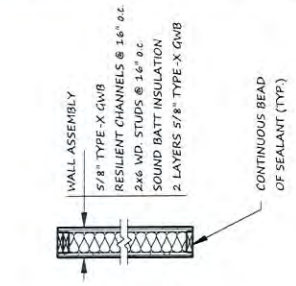
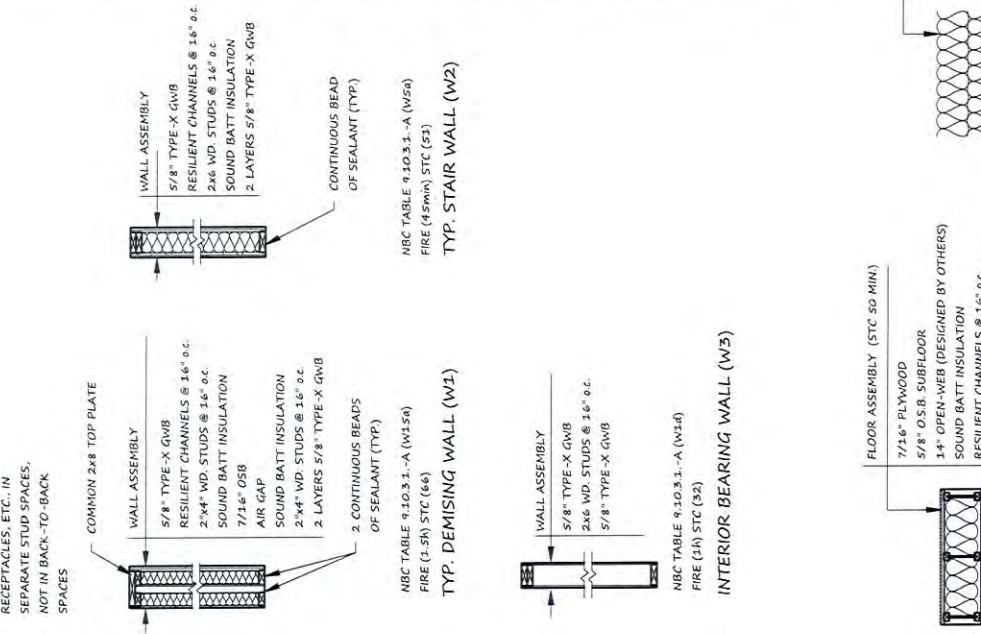
LARTER
 4 UNIT
 SEPT 2024
FIRST FLOOR PLAN
A-1.2

PROJECT #: 2024-355
 REV. 03

GENERAL NOTE:
 THESE PLANS ARE AN ACCURATE GUIDELINE
 TO BUILDING CONSTRUCTION. HOWEVER,
 THE CONTRACTOR AND/OR OWNER DURING
 THE NORMAL COURSE OF CONSTRUCTION IS
 TO VERIFY DIMENSIONS AND COMPLIANCE
 WITH LOCAL BUILDING CODES AND LATEST
 NATIONAL BUILDING CODE OF CANADA

THIS PLAN IS THE PROPERTY OF DALLAIRE
 DESIGN SERVICES INC. AND IS FOR
 EXCLUSIVE USE FOR ONE DWELLING. ONLY
 REPETITIVE USE AND/OR COPYING WITHOUT
 CONSENT FROM DALLAIRE DESIGN SERVICES
 INC. IS STRICTLY PROHIBITED

BUILDING AREA	
NAME	AREA
FIRST FLOOR	1794 SF
SECOND FLOOR	1981 SF



1 FIRST FLOOR PLAN
 3/8" = 1'-0"

Attachment C - 6

TYP. PARTITION NOTE:
INSTALL ELECT. OXES,
RECEPTACLES, ETC. IN
SEPARATE STUD SPACES.
NOT IN BACK-TO-BACK
SPACES

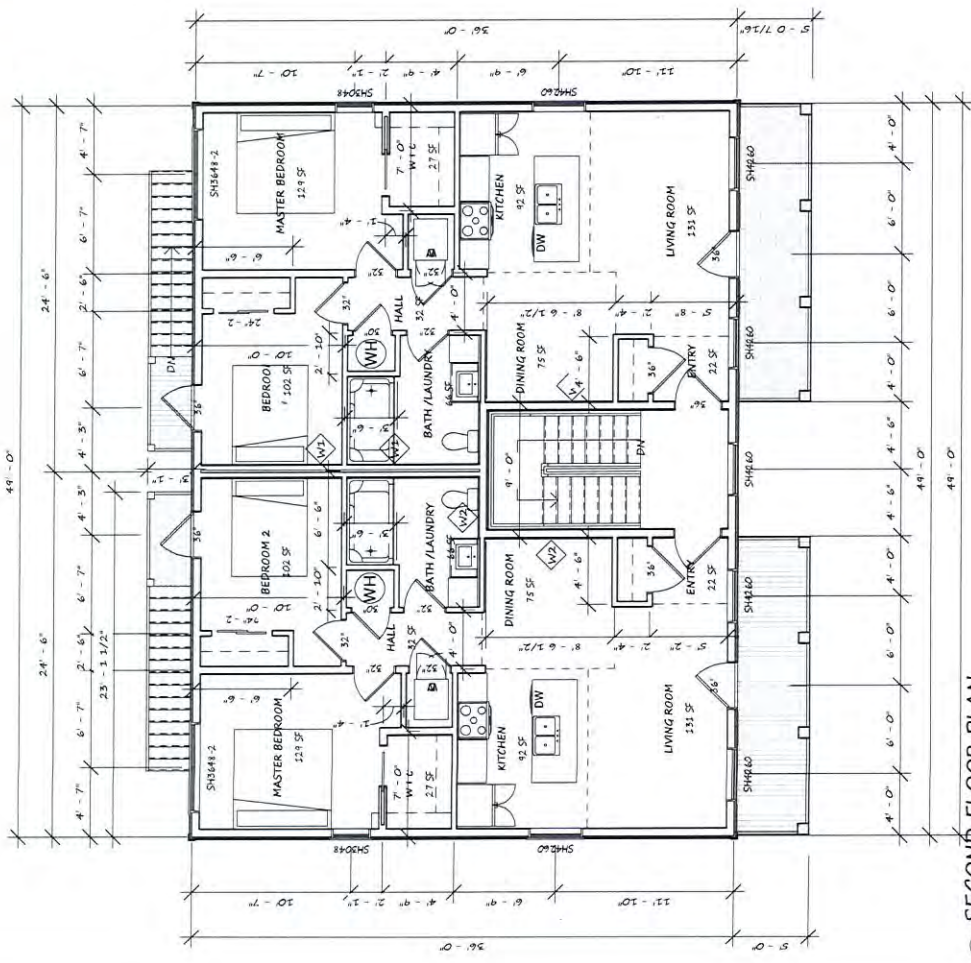
**DALLAIRE
DESIGN**

69 FALCON DRIVE, CORNWALL, PE, COA 3H4
(902) 940-2872 g.dctan_dallaire@hotmail.com

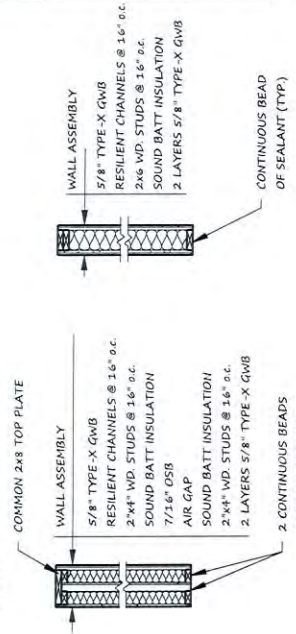
LARTER
4 UNIT
SEPT 2019

SECOND FLOOR PLAN
A-1.3

PROJECT #: 2019-355 REV. 03

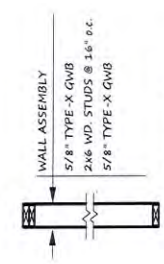


1 SECOND FLOOR PLAN
1/8" = 1'-0"



NBC TABLE 9.10.3.1.-A (W1S3)
FIRE (1.5H) STC (66)
TYP. DEMISING WALL (W1)

NBC TABLE 9.10.3.1.-A (W5a)
FIRE (45MIN) STC (52)
TYP. STAIR WALL (W2)



NBC TABLE 9.10.3.1.-A (W14)
FIRE (1H) STC (52)
INTERIOR BEARING WALL (W3)



NBC TABLE 9.10.3.1.-8 (F1C)
FIRE (1H) STC (46)
TYP. FLOOR ASSEMBLY

TYP. ATTIC CEILING ASSEMBLY

GENERAL NOTE:
THESE PLANS ARE AN ACCURATE GUIDELINE
TO BUILDING CONSTRUCTION. HOWEVER,
THE CONTRACTOR AND/OR OWNER DURING
THE NORMAL COURSE OF CONSTRUCTION IS
TO VERIFY DIMENSIONS AND COMPLIANCE
WITH LOCAL BUILDING CODES AND LATEST
NATIONAL BUILDING CODE OF CANADA

THIS PLAN IS THE PROPERTY OF DALLAIRE
DESIGN SERVICES INC. AND IS FOR
EXCLUSIVE USE FOR ONE DWELLING. ONLY
REPETITIVE USE AND/OR COPYING WITHOUT
CONSENT FROM DALLAIRE DESIGN SERVICES
INC. IS STRICTLY PROHIBITED

Attachment C - 7

D D
DALLAIRE
DESIGN

64 FALCON DRIVE, CORNWALL, PE, COA 1H4
(403) 940-2872 g.dallaire@dallaire.com

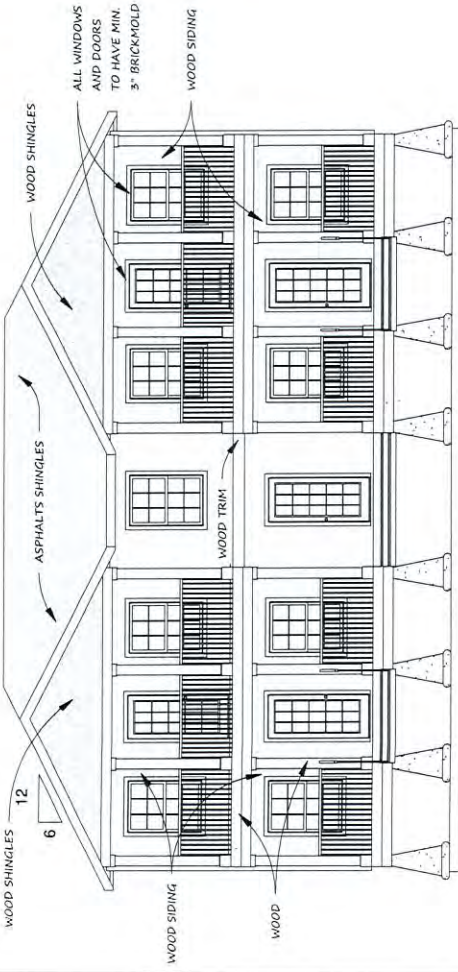
LARTER
4 UNIT
SEPT 2019

ELEVATIONS
A-2.1

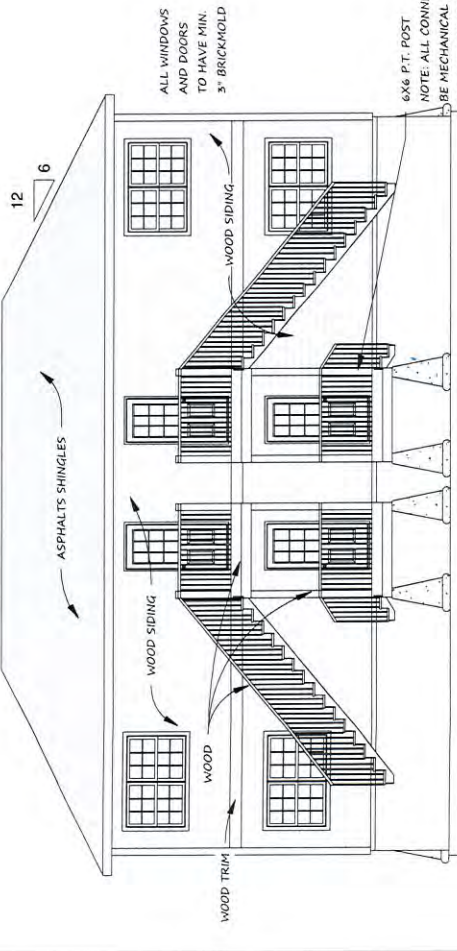
PROJECT #: 2014-355 REV. 03

GENERAL NOTE:
THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA

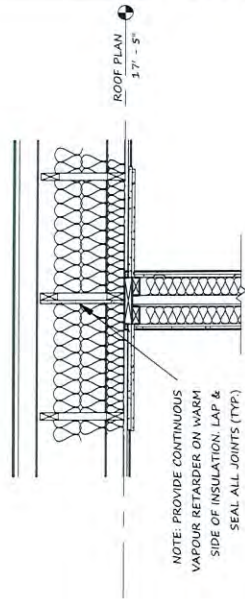
THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED



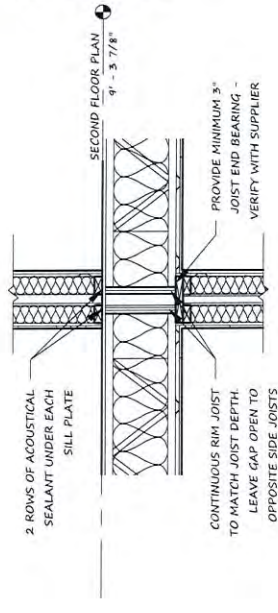
1 FRONT ELEVATION
1/8" = 1'-0"



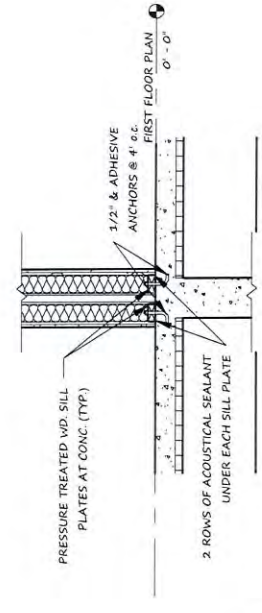
2 BACK ELEVATION
1/8" = 1'-0"



ROOF PLAN
1/7" = 5'



SECOND FLOOR PLAN
9' - 3 7/8"



FIRST FLOOR PLAN
0' - 0"

3 TYP. DEMISING WALL
1/2" = 1'-0"

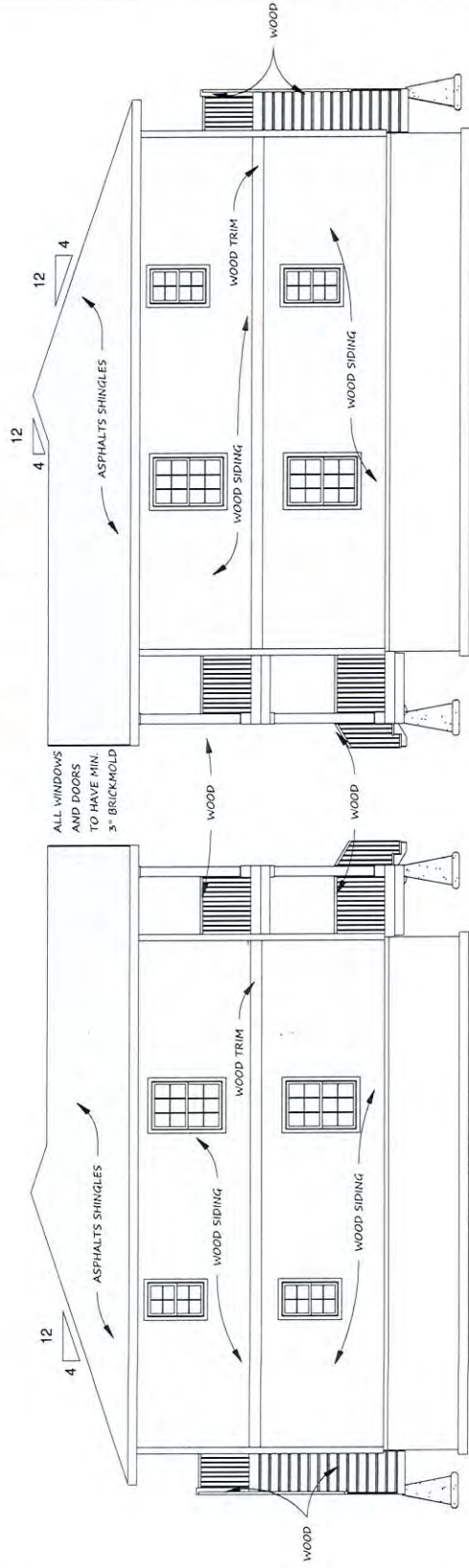
Attachment C - 8

DALLAIRE DESIGN
 69 FALCON DRIVE, CORNWALL, PE, COA 1H4
 (402) 440-2872. gabe@dallairehdb.com

LARTER
 4 UNIT
 SEPT 2019
 ELEVATIONS
 A-2.2
 PROJECT #: 2019-355 REV. 03

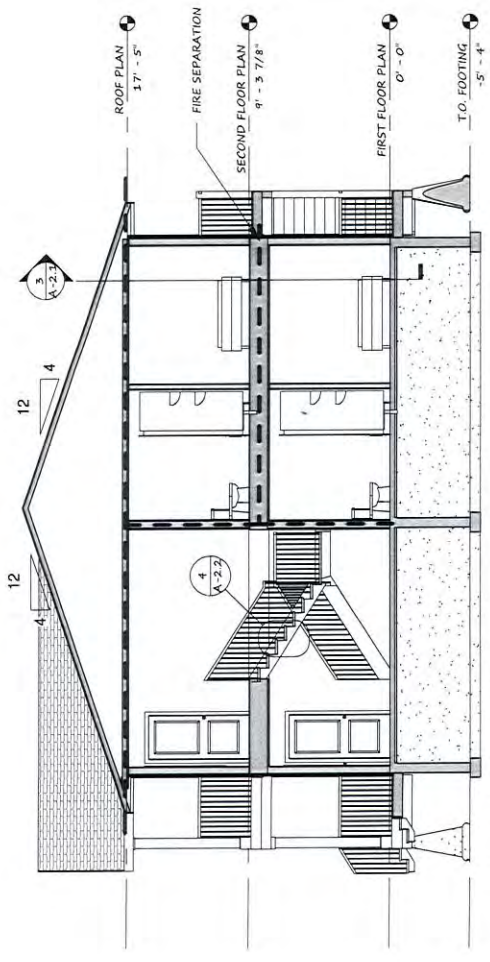
GENERAL NOTE:
 THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA.

THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC. IS STRICTLY PROHIBITED.

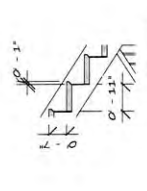


1 LEFT ELEVATION
 1/8" = 1'-0"

2 RIGHT ELEVATION
 1/8" = 1'-0"



3 BUILDING SECTION
 1/8" = 1'-0"



4 STAIRS TYP.
 3/4" = 3'-0"

Attachment C - 11



64 FALCON DRIVE, CORNWALL, PE. COA 1H4
(902) 840-2872 gretchen.dallaire@hotmail.com

LARTER

4 UNIT

SEPT 2014

SITE PLAN

C-1.1

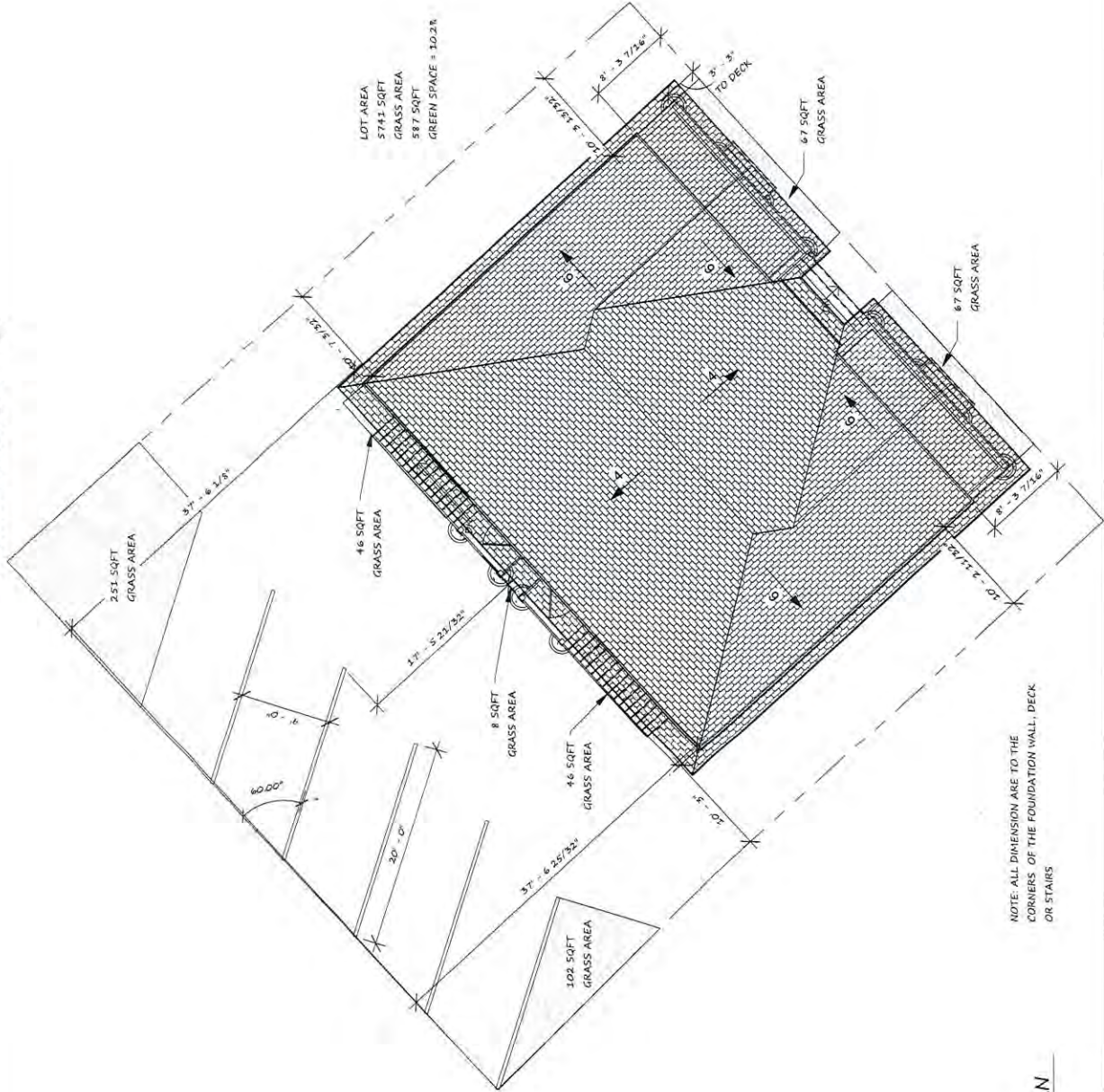
PROJECT #: 2014-355

REV. 03

GENERAL NOTE:

THESE PLANS ARE AN ACCURATE GUIDELINE TO BUILDING CONSTRUCTION. HOWEVER, THE CONTRACTOR AND/OR OWNER DURING THE NORMAL COURSE OF CONSTRUCTION IS TO VERIFY DIMENSIONS AND COMPLIANCE WITH LOCAL BUILDING CODES AND LATEST NATIONAL BUILDING CODE OF CANADA.

THIS PLAN IS THE PROPERTY OF DALLAIRE DESIGN SERVICES INC. AND IS FOR EXCLUSIVE USE FOR ONE DWELLING. ONLY REPETITIVE USE AND/OR COPYING WITHOUT CONSENT FROM DALLAIRE DESIGN SERVICES INC IS STRICTLY PROHIBITED.



NOTE: ALL DIMENSION ARE TO THE CORNERS OF THE FOUNDATION WALL, DECK OR STAIRS

1 SITE PLAN
3/32" = 1'-0"

Attachment D - 1



openpractice.ca
aaron@openpractice.ca

TEL 902 370 2086
FAX 902 370 2087

November 15, 2019

City of Charlottetown
c/o Robert Zilke
PO Box 98, 223 Queen St.
Charlottetown, PE C1A 7K2

Re: Design Review for 265 King S. – (4) Unit Residential .

Robert,

Please see enclosed our formal response to the submission as received from Gaten Dellaire October 21, 2019 for a new 4 Unit In-Fill Development at 265 King St. St. Preliminary review and comments were sent back to Dellaire Design & the city on November 1, 2019. We also met with the owner and the designer on November 8, 2019 to review the comments. Final revised drawings were submitted to our office on November 14, 2019.

It is the opinion of this design reviewer, that the submitting designer has made significant changes to the building and the submitted drawings satisfy the intent of the design review guidelines and 500 Lot guidelines. I am recommending that the proposed design move forward.

Sincerely,

A handwritten signature in black ink, appearing to read "A. Stavert". The signature is written in a cursive style with a large initial "A" and a long horizontal stroke.

Aaron Stavert, MRAIC, AAPEI

Attachment D - 2

General Commentary on the Importance of Design:

This block located at the Eastern End of King St. has seen significant re-development over the past number of years. There is very little of the existing fabric left to inform new development. There has been a gap in the review of projects in this area, and has resulted in a number of poor quality, inappropriate buildings. The current revised design shows an appropriate in-fill project with maximum density for the site. It is unfortunate that the majority of the site has been given over to parking and pavement. This leaves very little buffer between adjoining properties. However, the scale and overall design does meet the intent of the existing by-laws. Below is a high level review of the applicable Zoning Sections.

By-law / Design Submission Review Table.

DN Section

Section 28.2	Lot Frontage Apartment Dwelling with 4 Units or More – 65.6ft.	The proposed design meets the intent of the by-law.
	Front Yard, Side Yard and Rear Yard	The proposed design meets the intent of the by-law.
	Building Height and Setbacks	The proposed design meets the intent of the by-law.


General Zoning Sections:

Section 4.9 Street Orientation	Residential Buildings shall be oriented toward the street with front doors and windows facing the street.	It is the opinion of the designer reviewer that the current design meets the intent of the bylaw
Section 6.5 Landscaped Area	6.5.1 A minimum of ten percent (10%) of the Lot Area on which a Building or Structure is Erected shall be used for no other purpose than Landscaped Area.	It is the opinion of the designer reviewer that the current design meets the intent of the bylaw. Any efforts to provide screening at property boundaries should be provided for.
	6.5.6 Where landscaping requirements as set forth in this By-law are not met, the Development Security submitted at time of permit shall be forfeited and the funds therein shall be deposited to a Public Tree Reserve Fund to be used for landscaping on public property.	City to Follow-up with Deposit Required and Inspection.

Attachment D - 3

Design Standards for the 500 Lot:

Section 7.3 Front Façade Height and Width	7.3.4 For larger or wider Buildings, vertical divisions or bays in the façade at a width consistent with the traditional Buildings on the Street shall be clearly articulated.	It is the opinion of the designer reviewer that the current design meets the intent of the bylaw.
Section 7.4 Building Materials	The Front and Flankage facades shall carry a consistent type and quality of materials. Where a Side Yard Setback is greater than 3 m (9.8 ft), the Side facade shall also carry a consistent material.	It is the opinion of the designer reviewer that the current design meets the intent of the bylaw.
Section 7.5 Windows	All Sections	The current design meets the intent of this section.
Section 7.6 Roof	All Sections	The current design meets the intent of this section.
Section 7.8	All Sections	It is the opinion of the designer reviewer that the current design meets the intent of the bylaw.
Section 7.9	7.9.1 A Landscaped Area shall be provided between the sidewalk and the front façade of the Building, where appropriate for a continuous streetscape.	It is the opinion of the designer reviewer that the current design meets the intent of the bylaw.

TITLE: <p style="text-align: center;"> DESIGN REVIEW FILE: DESIGN-2019-18-NOVEMBER-c PIONER AVE OWNER: PEI HOUSING CORPORATION </p>		
MEETING DATE: November 18, 2019		Page 1 of 3
DEPARTMENT: Planning & Heritage	ATTACHMENTS: <ul style="list-style-type: none"> A. Design Review Submission (October 18, 2019) B. External Design Reviewer Comments (October 29, 2019) C. External Design Reviewer Revised Comments (November 14, 2019) 	
SITE INFORMATION: Ward No: 10 Existing Land Use: Vacant Property Official Plan: High Density Residential Zoning: Medium Density Residential (R3) Zone		

RECOMMENDATION:

The Planning & Heritage Department encourages the Design Review Board to reject the proposed site and building façade plans for the proposed three (3) storey, thirty-two (32) unit apartment dwelling to be constructed at Pioneer Ave (PID #442400), thirty-two (32) units which will be affordable housing for seniors.

BACKGROUND:

Request

The applicant, Regan MacLean, on behalf of Transportation, Infrastructure and Energy, has submitted a design for the proposed three (3) storey, thirty-two (32) unit apartment dwelling to be constructed on Pioneer Ave (PID #442400). The request is to approve the design proposal.

By-law Requirement

As per Section 3.14.1 of the Zoning and Development By-law, any affordable housing project is required to undergo the Design Review process. This is to ensure that the proposed development satisfies basic architectural principles and from a design perspective which is compatible and compliments existing buildings on surrounding properties.

ANALYSIS:

On October 18, 2019, the applicant submitted façade drawings, rendering of the proposed apartment building and a site plan (Attachment A). Staff immediately sent the proposed façade designs and site plan to an independent design reviewer, Robert Matthews, a licensed Architect to perform a design analysis.

On October 29, 2019, Mr. Matthews submitted a design analysis (Attachment B), which indicated the following main points:

- 1) The siting of the proposed building could be improved by situating it closer to Patterson Drive toward the east, and physically connecting to it with the existing trail. This would enhance the physical and visual connection from the building to the streetscape;*
- 2) The lack of architectural elements (different material or colours) to the facade makes the building seem long and ungainly. This could be improved and be made more animated in the use and placement of the colours and/or other materials. By introducing vertical elements the apparent length of the building would be visually reduced. This could be further enhanced by introducing additional colours to help disseminate the façade. This would help reduce the building length and create a vertical aesthetic; and*
- 3) The entrance has been defined by a single storey porch feature, which looks disproportionate in scale to the building as designed. With the suggestions made, the entrance should be revisited vis à vis the approach to scale taken on the buildings on River Ridge Dr.*

Staff forward these review comments to the applicant requesting the proposed changes relating to the building placement, façade changes and building entrance. The applicant stated that the change in building placement would incur considerable cost and did not address the concerns raised by the design analysis.

Staff requested that the design reviewer submit some specific details on changes that could be incorporated to the proposal. Mr. Matthews submitted revised comments suggesting the following:

1. The main entrance is still lacking emphases. The proponent should explore additional vertical elements - colour and or material.
2. The canopy has not changed and is not in proportion to the scale of the building.

3. Additional texture, such as mission style trusses, or some other feature at peaks and dormers would add interest to the facade,
4. The end elevations could use vertical emphases as well. This treatment could turn the corner to the front and rear elevations to enliven and add interest to the corner units.
5. Perhaps consider a small canopy over the end exit doors to provide a little weather protection.

CONCLUSION:

Staff is recommending that the Design Review Board reject the proposed building façade designs for the thirty-two (32) unit apartment building located on Pioneer Ave based on the comments received by the external design reviewer.

PRESENTER:



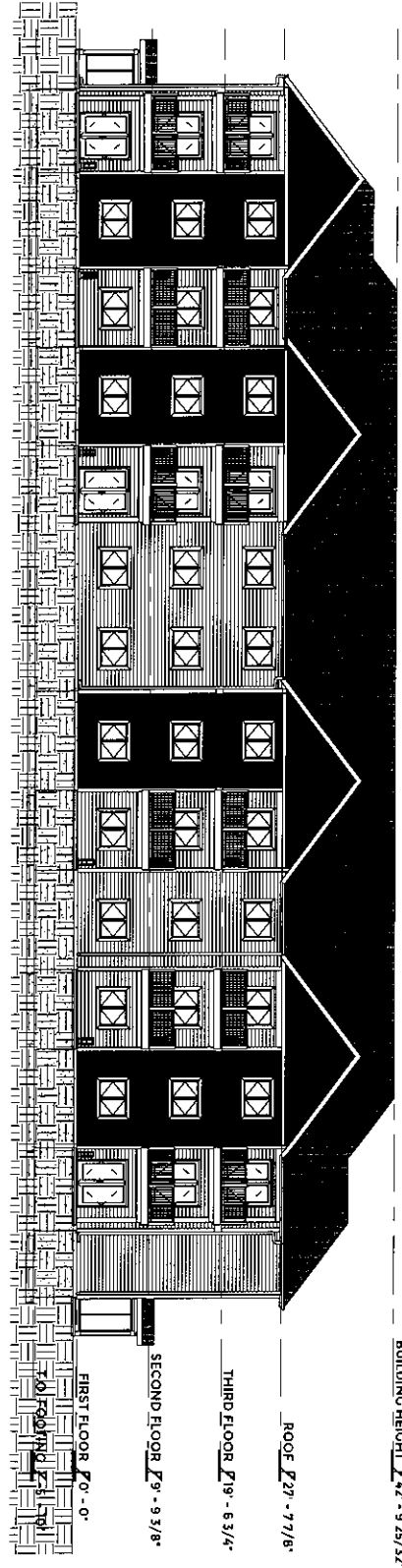
Robert Zilke, MCIP
Planner II

MANAGER:



Alex Forbes, MCIP, MBA
Manager of Planning & Heritage

Attachment A - 1



① BACK ELEVATION
1/16" = 1'-0"

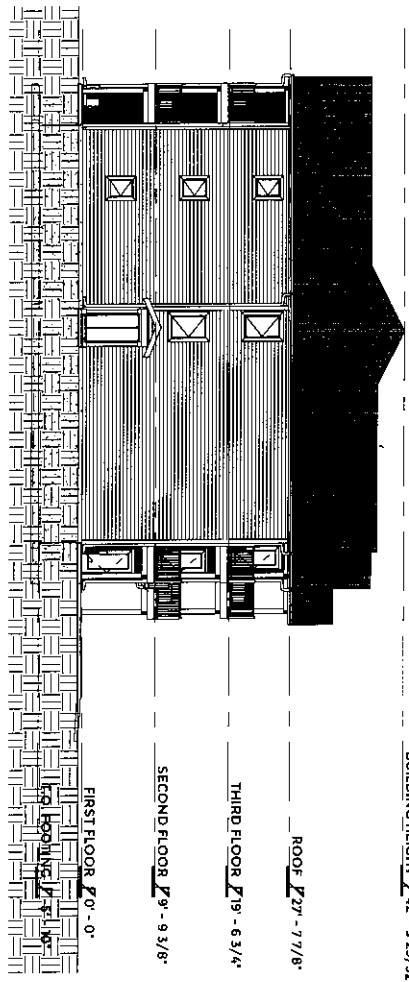
BUILDING HEIGHT 42' - 9 25/32"

ROOF 27' - 7 7/8"

THIRD FLOOR 19' - 6 3/4"

SECOND FLOOR 9' - 9 3/8"

FIRST FLOOR 0' - 0"



② LEFT ELEVATION
1/16" = 1'-0"

BUILDING HEIGHT 42' - 9 25/32"

ROOF 27' - 7 7/8"

THIRD FLOOR 19' - 6 3/4"

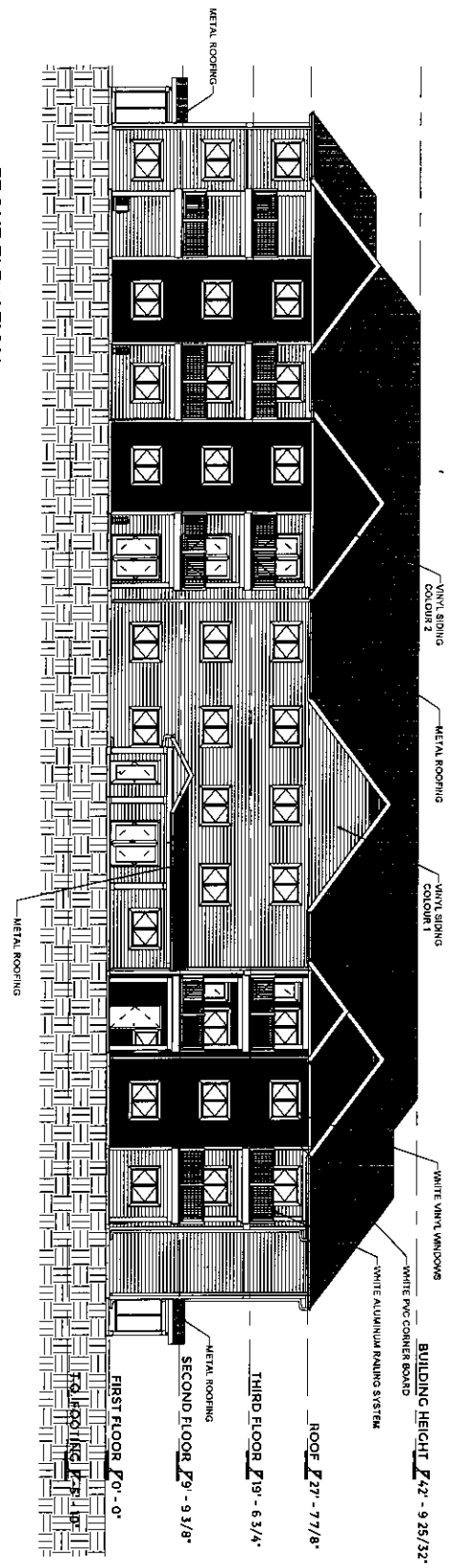
SECOND FLOOR 9' - 9 3/8"

FIRST FLOOR 0' - 0"

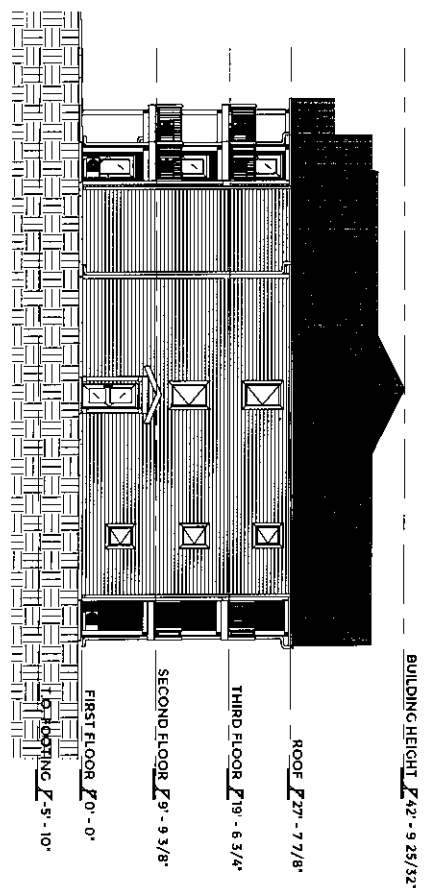
<p>A-02</p>	<p>ELEVATIONS</p> <p>Scale: 1/16" = 1'-0" Date: NOV 6 19 Project #: 19C06</p>	<p>32 UNIT SENIORS' HOUSING COMPLEX PIONEER AVENUE</p> <p>CHARLOTTETOWN PE</p>	<p>COAST DESIGN</p> <p>Box 21142 Charlottetown, PE C1A 9H6 david@coastdesign.ca 902-626-8253</p>	
	<p>All drawings and designs are property of Coast Design Inc. Copyright Coast Design Inc. All rights reserved</p>			

Attachment A - 2

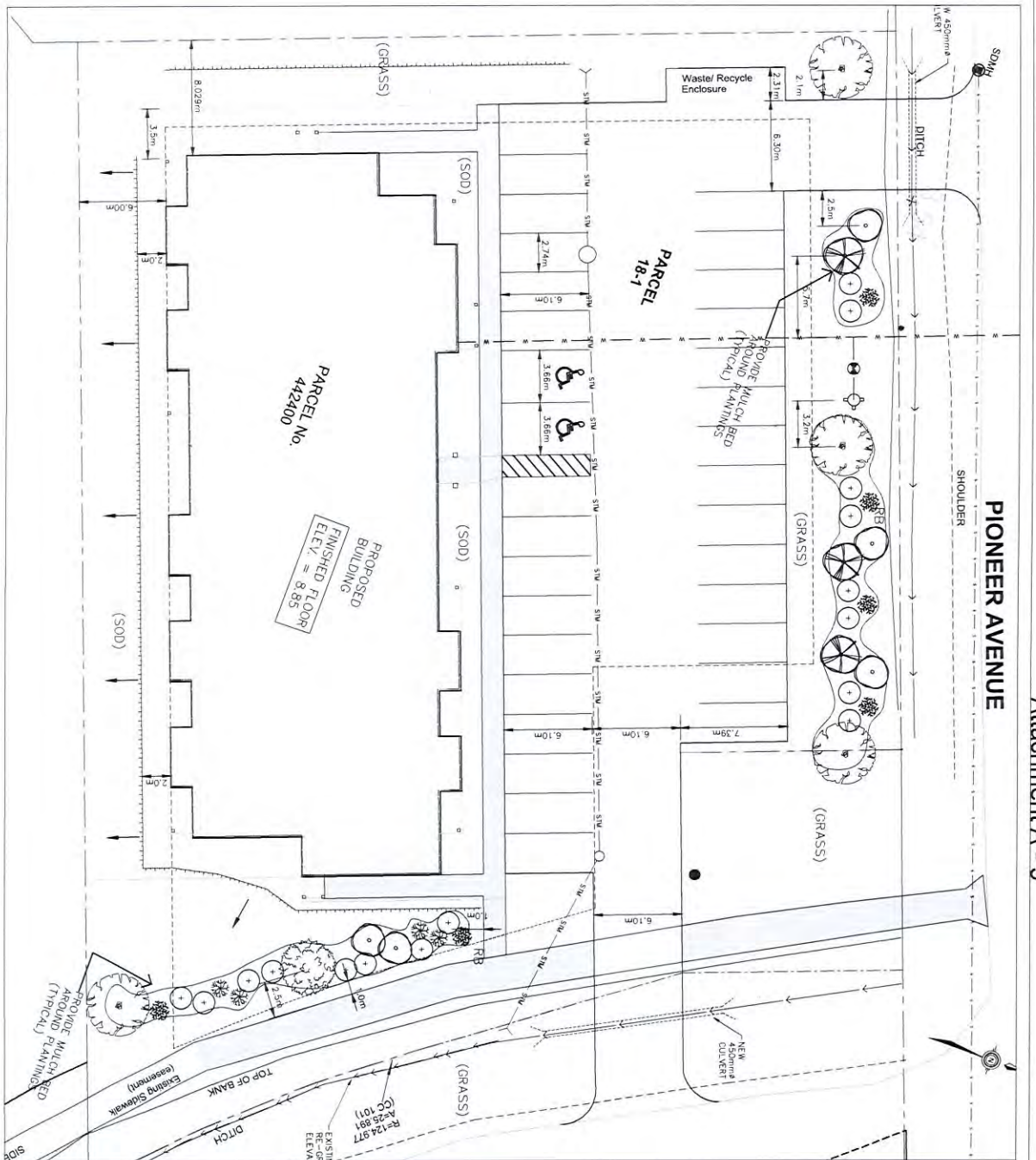
1 FRONT ELEVATION
1/16" = 1'-0"



2 RIGHT ELEVATION
1/16" = 1'-0"



<h2>A-01</h2>	ELEVATIONS Scale: 1/16" = 1'-0" Date: NOV 6 19 Project # 19006	32 UNIT SENIORS' HOUSING COMPLEX PIONEER AVENUE CHARLOTTETOWN PE	COAST DESIGN Box 21142 Charlottetown, PE C1A 9H6 david@coastdesign.ca 902-626-8253	
	All drawings and designs are property of Coast Design Inc. Copyright Coast Design Inc All rights reserved			

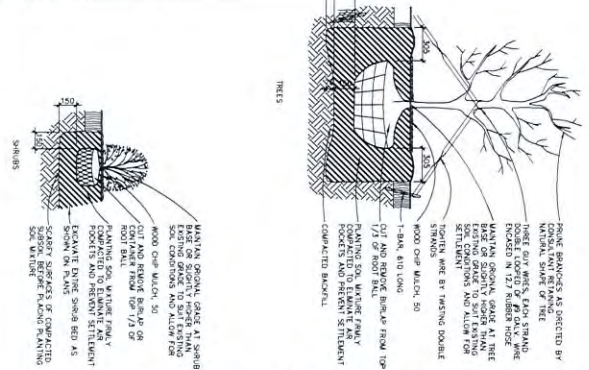


Trees Table

Quantity	Symbol	Scientific Name	Common Name	Planting Size
6		Quercus Rubra	Red Oak	80 mm Cal
9		Picea Rubens	Red Spruce	60 mm Cal
9		Picea glauca	White Spruce	60 mm Cal
4		Acer saccharum	Sugar Maple	80 mm Cal
4		Betula alleghaniensis	Yellow Birch	80 mm Cal

Shrubs Table

Quantity	Symbol	Scientific Name	Common Name	Planting Size
8		Sambucus canadensis	Common Elder	30cm Cal
3		Sambucus pubens	Red-Berried Elder	
39		Cornus stolonifera	Red Osier Dogwood	



L 100

LANDSCAPE PLANTING PLAN
 Scale 1:250
 Date NOV 12, 2019
 Project number 19006

32 UNIT SENIOR'S HOUSING COMPLEX - PIONEER AVENUE

DEPARTMENT OF TRANSPORTATION,
 INFRASTRUCTURE AND ENERGY
 PIONEER AVENUE
 CHARLOTTETOWN, PE



ARCHITECT
COAST DESIGN INC.
 Box 21142 Charlottetown, PE C1A 9H6
 david@coastdesign.ca
 902-626-8253



Attachment B - 1



The Sovereign Building
71 Bank St., 7th Floor
Ottawa ON, Canada
K1P 5N2

t. 613-224-0095
f. 613-224-9811
info@n45.ca
N45.CA

N45 ARCHITECTURE INC.

29 October 2019

Mr. Robert Zilke, MCIP
Planner II
PO Box 98
City of Charlottetown, PE
C1A 4B7

**Plans Review for
Affordable Housing, Pioneer Avenue
Coast Design**

Overview

The site is located at the intersection of Patterson and Pioneer Drives in the Falconwood area. Neighbours include Sherwood Special Care Facility, Queen Elizabeth Hospital, École Françoise-Boute, and a municipal works site. On River Ridge Dr., there are apartment buildings of a similar scale [to this proposal] as well as single family homes.

Siting

In the subject proposal, the building's main entrance is facing Pioneer Ave. with the parking lot between the building and the street. A paved sidewalk has been provided making a direct connection to Patterson Dr. Current urban design thinking is that buildings should be sited closer to streets creating a better physical and visual connection to the surroundings and activities. To achieve this, assuming zoning permits, would be to mirror the building and parking; placing the building closer to the street and the parking in the rear. Furthermore, again if zoning permits reduce the front yard set back by half to reinforce the relationship between building and street. The surplus space would be transferred to the back to create increase distance between the building and the parking. This would benefit the privacy of the units at the rear and create greener amenity space.

Architectural Character

The building base has been defined by the use of a dark horizontal siding. Above the base [floors 2 & 3] a complimentary paler colour has been employed. Both of which are a nice gesture to the colouration on some of the single family homes. As the building is long, the massing could be further enhanced by introducing a contrasting third and/or fourth colour shade on the facades between the balconies to assist in reducing the building length and create a vertical aesthetic.

The design proposed is very linear in appearance and emphasizes the horizontality making the building appear linear and ungainly. The design could be

PARTNERS:

ROBERT MATTHEWS
B.Arch., OAA
AANB, FRAIC

VLADIMIR POPOVIC
OAA, AANB, FRAIC
LEED ap bd+c

NATHALIE ROUTHIER
OAA, OAA, AANB,
MRAIC, LEED ap bd+c

GARY WENTZELL
MAATO

SENIOR ASSOCIATES:

GERRY MALLETT
Dipl. Architectural Technology

KEITH DICKIE
B.Arch, OAA, MRAIC

Attachment B - 2



The Sovereign Building
71 Bank St., 7th Floor
Ottawa ON, Canada
K1P 5N2

t 613-224-0095
f 613-224-9811
info@n45.ca
N45 CA

N45 ARCHITECTURE INC.

improved and be made more animated in the use and placement of the colours and/or other materials. Consideration could be given to the contemporary "modernist" style or other trends, such as the recent reintroduction of the "craftsman" style [use of earth tone colours, timber framing elements and cultured stone]. By introducing vertical elements the apparent length of the building would be visually reduced. As previously mentioned, this could be further enhanced by additional colours to help disseminate the façade.

In the proposed scheme the entrance has been defined by a single storey porch feature, which looks disproportionate in scale to the building as designed. With the suggestions made, the entrance should be revisited vis à vis the approach to scale taken on the buildings on River Ridge Dr.

Conclusion

The size of the project as proposed in this area of the City is generally acceptable. However, it reads very long and could be somewhat enhanced by introducing additional colours or materials in vertical elements to change the scale. With the planners support, the relationship to the street should be reconsidered to create a more pedestrian friendly zone as well as increase the buffer at the rear between the building and parking.

Prepared by:-
N45 Architecture Inc.



Robert Matthews

Attachment C - 1



The Sovereign Building
71 Bank St., 7th Floor
Ottawa ON, Canada
K1P 5N2

t. 613-224-0095
f. 613-224-9811
info@n45.ca
N45.CA

N45 ARCHITECTURE INC.

14 November 2019

Mr. Robert Zilke, MCIP
Planner II
PO Box 98
City of Charlottetown, PE
C1A 4B7

**Second Plans Review for
Affordable Housing, Pioneer Avenue
Coast Design**

I have reviewed the second submission and offer the following comments.

1. The main entrance is still lacking emphases. The proponent should explore additional vertical elements – colour and or material.
2. The canopy has not changed and is not in proportion to the scale of the building.
3. Additional texture, such as mission style trusses, or some other feature at peaks and dormers would add interest to the façade,
4. The end elevations could use vertical emphases as well. This treatment could turn the corner to the front and rear elevations to enliven and add interest to the corner units.
5. Perhaps consider a small canopy over the end exit doors to provide a little weather protection.

PARTNERS:

ROBERT MATTHEWS
B.Arch., OAA
AANB, FRAIC

VLADIMIR POPOVIC
OAA, AANB, FRAIC
LEED ap bd+c

NATHALIE ROUTHIER
OAA, OAQ, AANB,
MRAIC, LEED ap bd+c

GARY WENTZELL
MAATO

SENIOR ASSOCIATES:

GERRY MALLETTE
Dipl. Architectural Technology

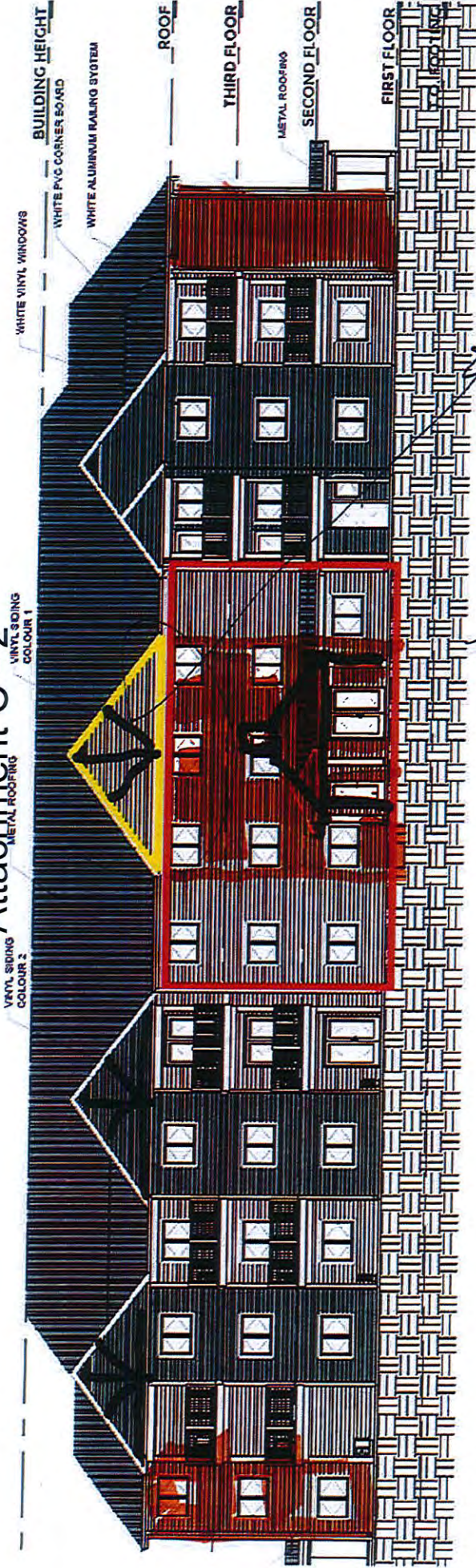
KEITH DICKIE
B.Arch, OAA, MRAIC

Prepared by:-
N45 Architecture Inc.

Robert Matthews

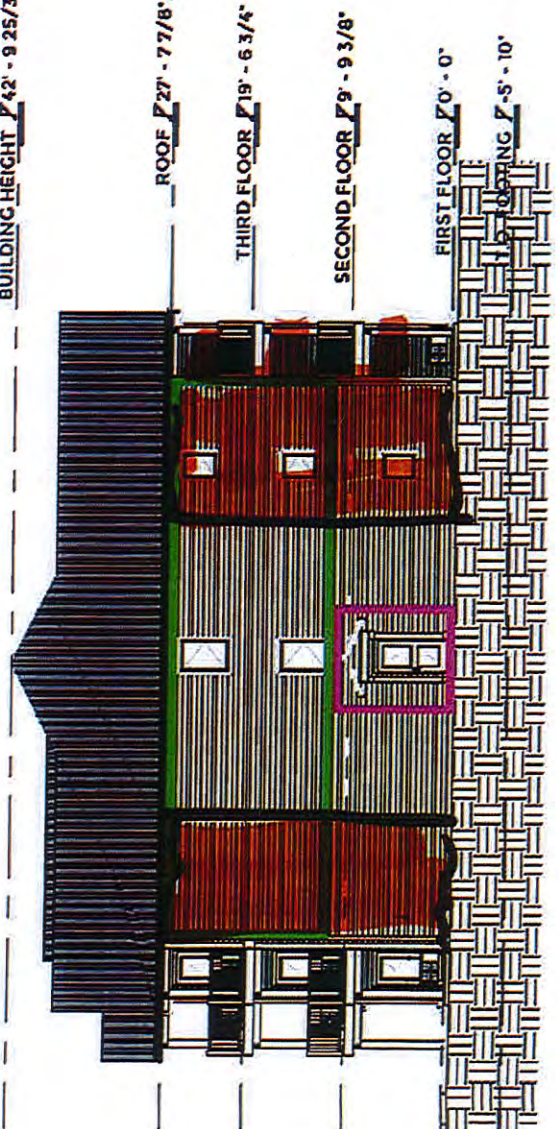
Attachment C - 2

VINYL SIDING
METAL ROOFING
COLOUR 1




1 FRONT ELEVATION
1/16" = 1'-0"

BUILDING HEIGHT 42' - 9 25/32"



2 RIGHT ELEVATION
1/16" = 1'-0"

TITLE: <p style="text-align: center;">DESIGN REVIEW FILE: DESIGN-2019-18-NOVEMBER-d 184 BEACH GROVE ROAD OWNER: QUEENS COUNTY RESIDENTIAL SERVICES</p>		
MEETING DATE: November 18, 2019		Page 1 of 2
DEPARTMENT: Planning & Heritage	ATTACHMENTS: A. Design Review Submission (October 18, 2019)	
SITE INFORMATION: Ward No: 7 Existing Land Use: Vacant Property Official Plan: Institutional Zoning: Institutional (I) Zone		

RECOMMENDATION:

The Planning & Heritage Department encourages the Design Review Board to approve the proposed site and building façade plans for the proposed group home, three (3) unit apartment dwellings to be constructed at 184 Beach Grove Road (PID #1000744), these units will be for affordable housing.

BACKGROUND:

Request

The contractor, Bill Lawlor of The King’s Square Affordable Housing Corp, has submitted a design for the proposed single storey, group home and three (3) unit apartment dwelling to be constructed at 184 Beach Grove Road (PID #1000744). The request is to approve the design proposal.

By-law Requirement

As per Section 3.14.1 of the Zoning and Development By-law, any affordable housing project is required to undergo the Design Review process. This is to ensure that the proposed development satisfies basic architectural principles and from a design perspective which is compatible and compliments existing buildings on surrounding properties.

ANALYSIS:

On October 18, 2019, the applicant submitted façade drawings, rendering of the proposed apartment building and a site plan (Attachment A). The purpose of applying the design review process to affordable housing projects is to ensure compatibility with the surrounding

neighbourhood. The location of this project being adjacent to other provincially operated social housing developments such as; the new transitional housing to the north, a long-term care facility on the same parcel, the Central Forest District Office to the east and provincially owned lands with the river to the south. Given, that the Province owns the adjacent properties and that this affordable housing project is a provincially supported development, the Planning Department decided to send the proposal to the Design Review Board directly without conducting a formal design review by an architect.

Staff feels that as per the site design and proposed building facade, the proposed development generally fits in and is compatible with the surrounding existing buildings. The proposed building also maintains a considerable setback of 7.5m (24.9ft) from the street, minimizing any visual impact.

CONCLUSION:

Staff is recommending that the Design Review Board approve the proposed building façade designs and site plan for the group home and three (3) unit apartment building located at 184 Beach Grove Road.

PRESENTER:

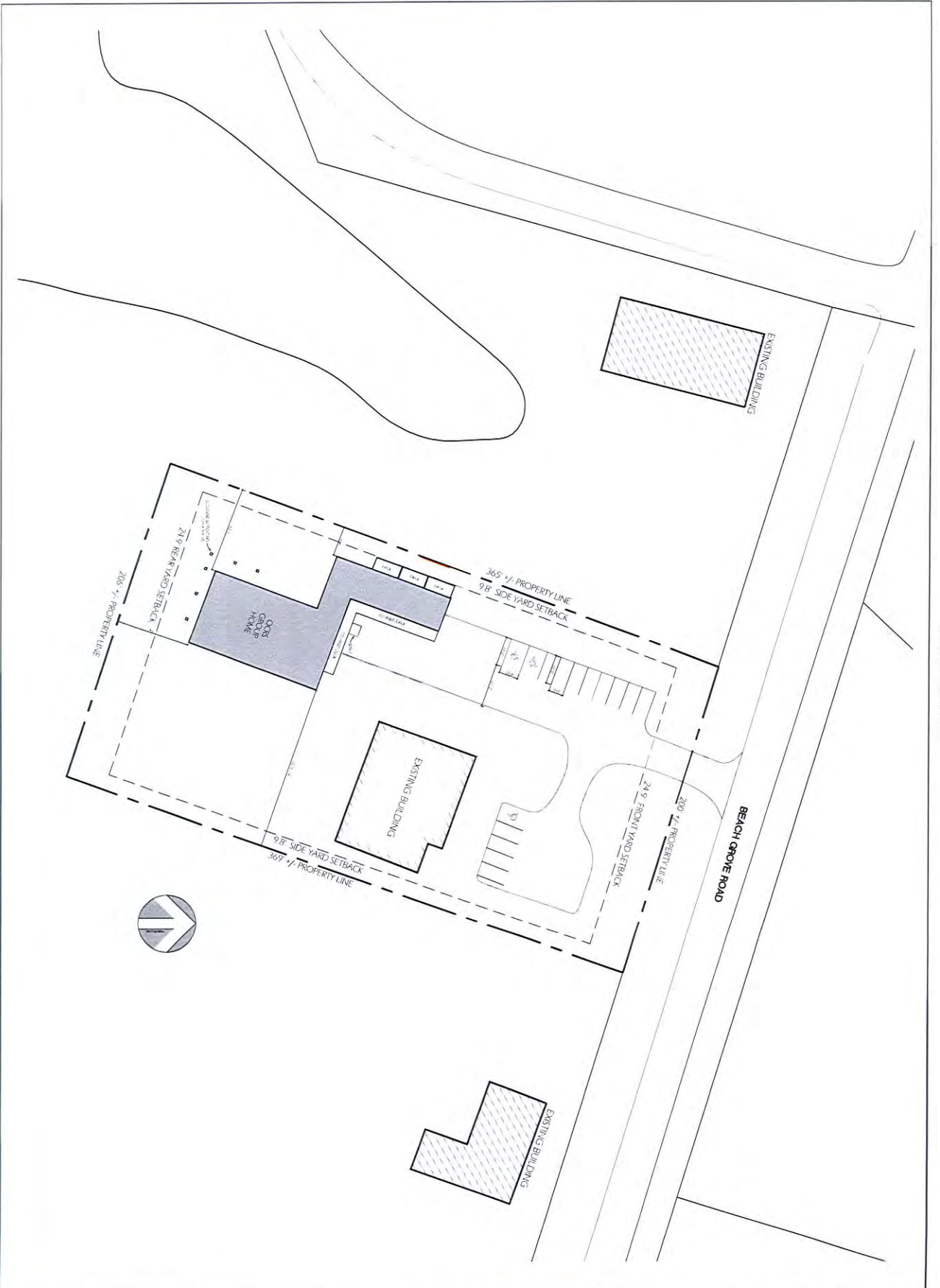


Robert Zilke, MCIP
Planner II

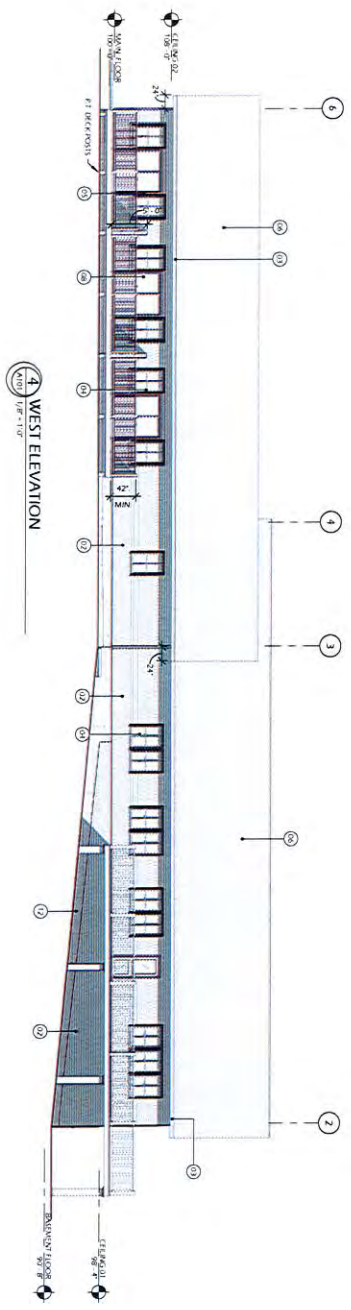
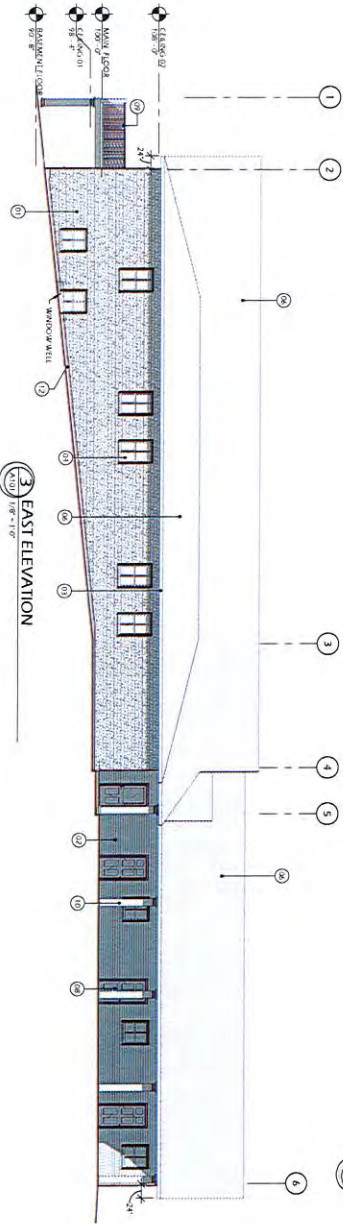
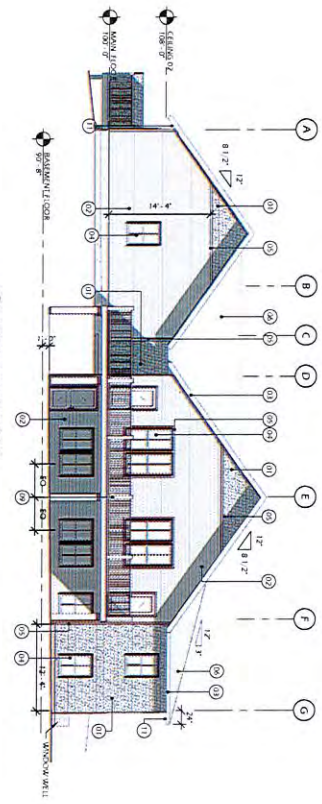
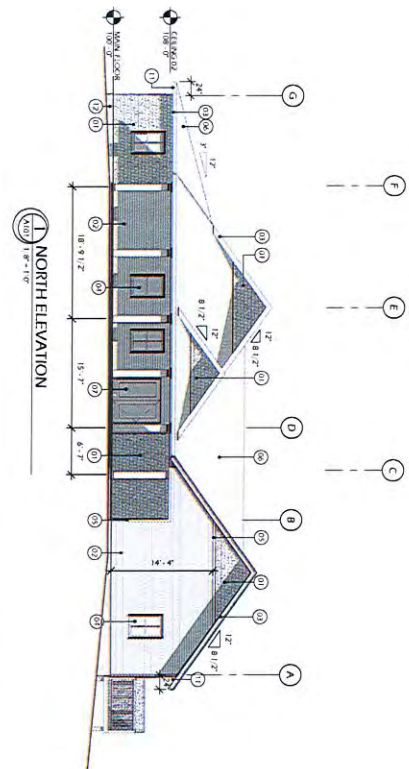
MANAGER:



Alex Forbes, MCIP, MBA
Manager of Planning & Heritage



<h1>A100</h1>	QCRS GROUP HOME <small>CHURCHTOWN, THIRDE EDWARD BLVD</small>	ARCHITECTURE + SUSTAINABLE DESIGN SableARC STUDIOS <small>45 Water Street, Chatham, MA 01920 • L. 902.442.0210 www.sablearc.com</small>		<p>These drawings were prepared by SableARC Studios, Inc. for the use of the client, QCRS, and are not to be used for any other project without the written consent of SableARC Studios, Inc. All rights reserved. No part of these drawings may be reproduced without the written consent of SableARC Studios, Inc.</p>
	ARCHITECTURAL SITE PLAN <small>DATE: 2014.04.04 DRAWN: T.H.S. CHECKED: W.M. PROJECT NO: 1852</small>			



MATERIAL LEGEND	
01	EXTERIOR CENTER SPANDREL RISER
02	HORIZONTAL VENT TERRAZZO (COLOR 01)
03	WOOD PANEL ALUMINUM FINISH (COLOR 01)
04	WOOD WINDOW TRIM (COLOR 01)
05	WOOD WINDOW TRIM (COLOR 01)
06	WOOD WINDOW TRIM (COLOR 01)
07	WOOD WINDOW TRIM (COLOR 01)
08	WOOD WINDOW TRIM (COLOR 01)
09	WOOD WINDOW TRIM (COLOR 01)
10	WOOD WINDOW TRIM (COLOR 01)
11	WOOD WINDOW TRIM (COLOR 01)
12	WOOD WINDOW TRIM (COLOR 01)

A200

OCRS
Group Home

Charlottetown,
Prince Edward Island

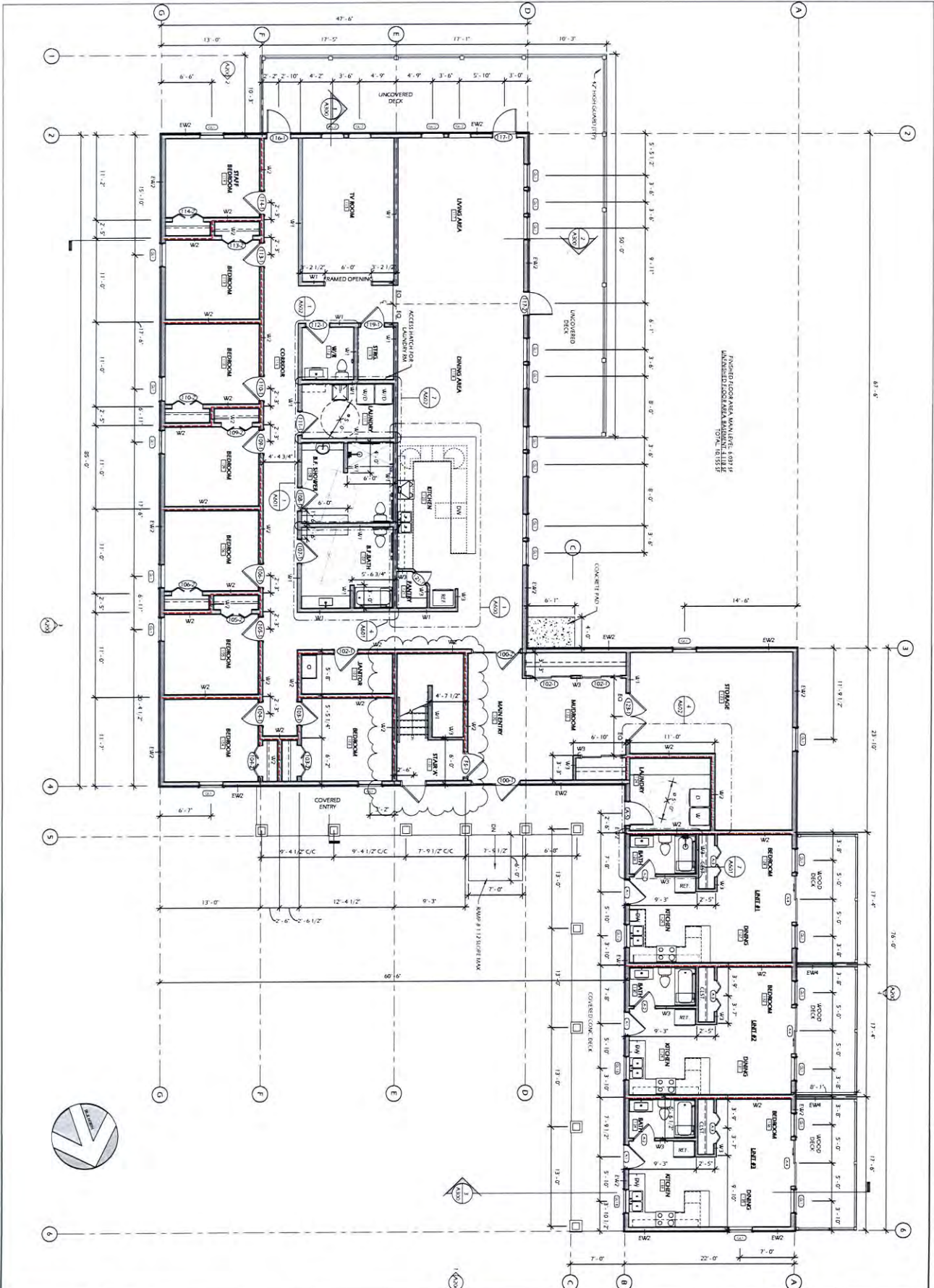
ARCHITECTURE • SUSTAINABLE DESIGN

SableARC
STUDIOS

49 Water Street, Charlottetown PE C1A 1A3 • 1 902.816.0214
Project@sablearc.com / www.sablearc.com

These drawings are prepared and developed for use by the client and are not to be used for any other project. SableARC Studios is not responsible for any errors or omissions in these drawings and shall not be held liable for any and all reproduction or use of these drawings without the written consent of SableARC Studios.

© 2011, SableARC Studios



<h1 style="margin: 0;">A102</h1>	<p>OCRS Group Home</p> <p><small>Charlottesville, VA Prince Edward Island</small></p>	<p>ARCHITECTURE + SUSTAINABLE DESIGN</p> <p>SableARC STUDIOS</p> <p><small>47 Water Street, Charlottesville, VA 22902-1621A info@sablearc.com / www.sablearc.com</small></p>	 <p><small>These drawings are the property of SableARC Studios and are not to be reproduced, stored in a retrieval system, or used for any purpose other than the project and site for which they were prepared without the written consent of SableARC Studios.</small></p> <p>© 2017, SableARC Studios</p>
----------------------------------	---	---	---